

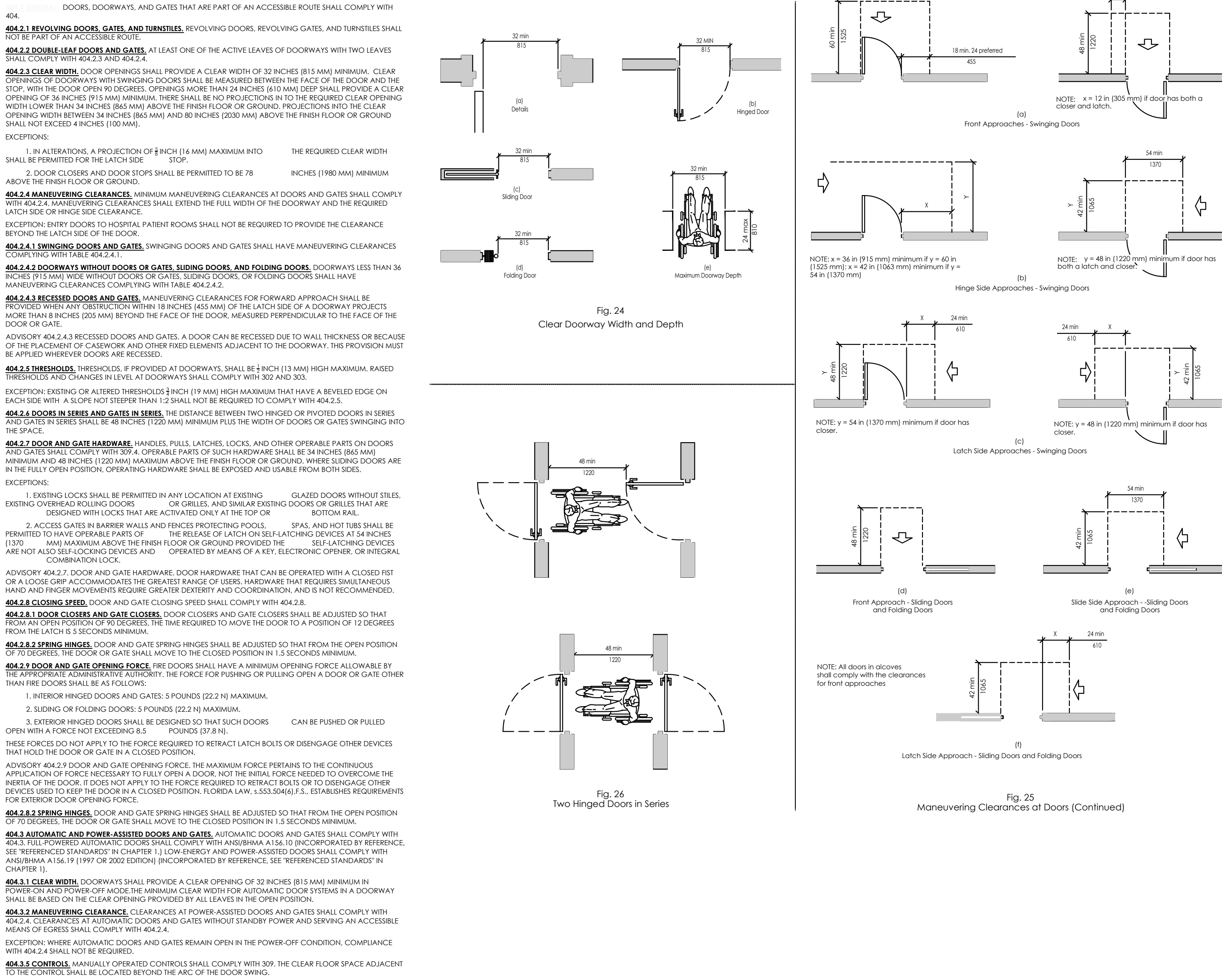
CONTRACTOR NOTES:

1. OVERTIME: WORK PERFORMED DURING OVERTIME HOURS NOT INCLUDED IN THE CONTRACT FOR CONSTRUCTION SHALL BE APPROVED IN ADVANCE VIA CHANGE ORDER.
2. ALL WORK SHALL BE DONE IN A SAFE WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH THE LOCAL AND/OR STATE (IF APPLICABLE) BUILDING CODES, NATIONAL ELECTRIC CODE (NEC), ADA/ADAACS (ADOPTED HANDICAPP ACCESSIBILITY REQUIREMENTS), OSHA AND ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND AUTHORITIES HAVING JURISDICTION.
3. TO THE EXTENT REQUIRED BY LAW ALL WORK SHALL BE PERFORMED BY INDIVIDUALS DULY LICENSED AND AUTHORIZED BY LAW TO PERFORM SAID WORK.
4. CONTRACTOR MAY AT ITS DISCRETION ENGAGE SUBCONTRACTORS TO PERFORM WORK HEREUNDER. PROVIDED CONTRACTOR SHALL FULLY PAY SAID SUBCONTRACTOR AND IN ALL INSTANCES REMAIN RESPONSIBLE FOR THE PROPER COMPLETION OF THIS CONTRACT.
5. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS KNOWLEDGE DOES NOT RELIEVE THEM OF ANY RESPONSIBILITY FOR PERFORMING THEIR WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
6. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE BUILDING SECURITY AT ALL TIMES. THIS INCLUDES KEEPING THE BUILDING SECURE FROM PIRACIES, ENVIRONMENTAL ELEMENTS OR HAZARDS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE INTEGRITY OF ALL LOCKING SECURITY SYSTEMS.
7. CONTRACTOR SHALL FURNISH OWNER APPROPRIATE RELEASES OR WAIVERS OF LIEN FOR ALL WORK PERFORMED OR MATERIALS PROVIDED AT THE TIME THE NEXT PERIODIC PAYMENT SHALL BE DUE.
8. CONTRACTOR SHALL PROVIDE ALL CHANGE ORDERS IN WRITING. CHANGE ORDER SHALL DESCRIBE ALL COST, TIME AND INCLUDE A DESCRIPTION OF THE WORK. NO WORK SHALL COMMENCE WITHOUT CHANGE ORDER BEING SIGNED AND APPROVED BY BOTH OWNER AND ARCHITECT.
9. CONTRACTOR WARRANTS IT IS ADEQUATELY INSURED FOR INJURY TO ITS EMPLOYEES AND OTHERS INCURRING LOSS OR INJURY AS A RESULT OF THE ACTS OF CONTRACTOR OR ITS EMPLOYEES AND SUBCONTRACTORS.
10. CONTRACTOR SHALL, AT ITS OWN EXPENSE OBTAIN ALL PERMITS NECESSARY FOR THE WORK TO BE PERFORMED.
11. CONTRACTOR AGREES TO REMOVE ALL DEBRIS AND LEAVE THE PREMISES IN BROOM CLEAN CONDITION.
12. IN THE EVENT OWNER SHALL FAIL TO PAY ANY PERIODIC OR INSTALLMENT PAYMENT DUE HEREUNDER, CONTRACTOR MAY CEASE WORK WITHOUT BREACH PENDING PAYMENT OR RESOLUTION OF ANY DISPUTE.
13. CONTRACTOR SHALL NOT BE LIABLE FOR ANY DELAY DUE TO CIRCUMSTANCES BEYOND ITS CONTROL INCLUDING STRIKES, CASUALTY OR GENERAL UNAVAILABILITY OF MATERIALS.
14. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA RULES AND REGULATIONS.
15. ALL CONSTRUCTION CONDITIONS TO BE VERIFIED IN THE FIELD. ANY DISCREPANCIES, OMISSIONS AND ERRORS DISCOVERED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION AT ONCE. THIS INCLUDES EXISTING AND NEW CONDITIONS AND DIMENSIONS. THE CONTRACTOR IS NOT TO PROCEED WITH OUT CONTACTING THE ARCHITECT.
16. THE CONTRACT DOCUMENTS ARE A GRAPHIC REPRESENTATION OF THE CONDITIONS AND THE WORK TO BE DONE. THESE DIMENSIONS SHALL NOT BE SCALED. THE WRITTEN DIMENSIONS SHALL TAKE PRECEDENT OVER ANY. ALL SCALED DIMENSIONS, THE MANUFACTURER'S SPECIFICATIONS SUPERSEDE THE CONTRACT DOCUMENTS AS APPLICABLE.
17. ANY DEVIATION FROM THE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. ANY CHANGES THAT ARE NOT APPROVED SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.
18. ALL MATERIALS, SYSTEMS, AND COMPONENTS SHALL BE AS SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. THE CONTRACTOR COORDINATES THE WORK OF ALL TRADES, IN ORDER TO ACHIEVE PROPER COORDINATION.
19. THE CONTRACTOR IS RESPONSIBLE FOR THE STORAGE AND SECURITY OF ALL BUILDING MATERIALS. THEY SHALL KEEP THE PREMISES AND WORK AREA IN A SUFFICIENTLY HEAT AND ORDERLY CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN A TIMELY BASIS IS NOT TO INTERFERE WITH ANY CONSTRUCTION CURRENTLY UNDER WAY.
20. THE CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF DEBRIS AND IS TO REMOVE ALL TRASH AND DEBRIS FROM THE CONSTRUCTION AREA DAILY.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ORDERING OF MATERIALS TO PREVENT DELAYS OF THE CONSTRUCTION SCHEDULE OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS IN A TIMELY MANNER.
22. THE GENERAL CONTRACTOR SHALL RESPOND TO ALL REQUIREMENTS OF THE ENGINEER/ARCHITECT FOR VERIFICATIONS, RESPONSES AND SUBMISSIONS.
23. DURING ENTIRE CONSTRUCTION PERIOD, PROVIDE ONE U.L. LISTED 2A-208C DRY TYPE, 150 AMP, 480V, 3PH, 3W, 3T, 100% CARBON DIOXIDE FIRE EXTINGUISHER MOUNTED TOGETHER IN EACH 3000 SQ. FT. OF WORK AREA OR FRACTION THEREOF (MINIMUM OF TWO AVAILABLE IN ALL CONSTRUCTION AREAS AT ALL TIMES).
24. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ADJACENT PREMISES FROM MOISTURE, CONSTRUCTION NOISE, DUST AND DEBRIS.
25. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING FACILITY TO REMAIN SHALL BE REPAIRED TO BEFORE DAMAGE CONDITIONS AT THE CONTRACTOR'S SOLE EXPENSE.
26. COORDINATE ALL WORK TO BE DONE WITH ALL THE CONTRACTORS INVOLVED PRIOR TO INSTALLATION.
27. FIELD VERIFY LOCATIONS OF PIPING, EQUIPMENT, STRUCTURAL COMPONENTS, ETC. PRIOR TO COMMENCING ANY WORK.
28. PROVIDE ADA COMPLIANT PRO WRAP DRAIN AND STOP INSULATION SYSTEM OR DRAINSHIELD ON ALL LAVATORIES.
32. ALL SPECIFIED ELECTRICAL NOTES ARE REQUIRED, ALL EQUIPMENT AND OUTLETS ARE TO BE PLACED BY GENERAL CONTRACTOR.
33. FIRE EXTINGUISHERS, SMOKE AND FIRE DETECTION SYSTEMS TO BE INSTALLED BY GENERAL CONTRACTOR PER LOCAL CODE.
34. ALL DIMENSIONS TO BE VERIFIED BY GENERAL CONTRACTOR ON SITE.
35. GENERAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS TO ALL OWNER FURNISHED ITEMS.
36. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE DELIVERY, RECEIVE, UNLOAD, STORE, PROJECT ITEMS CALLED FOR IN SCOPE OF WORK FROM THE DELIVERY TRUCK AND STORAGE AND THROUGH THE COMPLETE INSTALLATION PROCESS. ANY ITEMS DAMAGED AFTER RECEIVING BY CONTRACTOR SHALL BE REPLACED AS DETERMINED BY THE OWNER, AT THE CONTRACTOR'S SOLE EXPENSE.
37. ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED MOISTURE RESISTANT.
38. ALL ROOF PENETRATIONS AS REQUIRED TO MAINTAIN A WATERIGHT / PRE- PENETRATED ROOF SYSTEM.
39. PROVIDE SIGN ON EXTERIOR DOORS, 1" HIGH LETTERS.
40. ALL DOOR HARDWARE TO MEET ADA GUIDELINES.
41. PROVIDE SIGN STAINING MAXIMUM OCCUPANT LOAD WHERE REQUIRED BY AUTHORITY HAVING JURISDICTION.
42. PROVIDE FIRESTOPPING MATERIAL AT ALL PENETRATIONS OF ANY FIRE WALL.

ACCESSIBILITY NOTES:

1. H.C. ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCE.
2. THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED MAX CROSS SLOPE 2% WALKING SURFACE SLOPING GREATER THAN 2% SHALL BE SURF RESISTANT.
3. EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3'6" WIDE BY NOT LESS THAN 4'8" HIGH CAPABLE OF OPENING 90 DEGREES AND MOUNTED TO THAT THE CLEAR WIDTH OF EXIT WAY IS 32" MIN.
4. THRESHOLD TO BE MAX 1/4" ABOVE ADJACENT FINISH FLOOR.
5. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS.
6. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED.
7. PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE (30" TO 47" AFF.)

DOORS & MANEUVERING CLEARANCES



SECTION 01 50 00 - GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION
General Conditions of the Contract for Construction, AIA A201 is hereby made a part of these documents as if bound herein. Copies of the AIA A201 can be obtained from Owner's Representative.

END OF SECTION 01 50 00

SECTION 01 20 00 - PRICE AND PAYMENT PROCEDURES
PART 1 - GENERAL
1.1 CONTRACT MODIFICATION PROCEDURES
A. On Owner's approval of a proposal from Contractor on AIA Document G709, Architect will issue a Change Order on AIA Document G701, for all changes to the Contract Sum or the Contract Time.
B. When Owner and Contractor disagree on the terms of a proposal, Architect may issue a Construction Change Directive on AIA Document G714, instructing Contractor to proceed with the change, for subsequent inclusion in a Change Order. Construction Change Directive will contain a description of the change and designate the method to be followed to determine changes to the Contract Sum or the Contract Time.

1.2 PAYMENT PROCEDURES
A. Submit a Schedule of Values at least 10 days before the initial Application for Payment. Break down the Contract Sum into at least one line item for each Specification Section in the Project Manual table of contents. Coordinate the Schedule of Values with Contractor's Construction Schedule.
B. Round amounts to nearest whole dollar; total shall equal the Contract Sum.
C. Provide separate line items in the Schedule of Values for initial cost of materials and for total installed value of that part of the Work.
D. Submit 3 copies of each application for payment on AIA Document G702/703, according to the schedule established in Owner/Contractor Agreement.
E. With each Application for Payment, submit waivers of mechanic's liens from subcontractors, sub-subcontractors, and suppliers for construction period covered by the previous application.
F. Submit final Application for Payment after completion of Project closeout procedures with release of liens and supporting documentation.
G. Include constant of surety to final payment on AIA Document G707 and insurance certificates.
H. Submit final meter readings for utilities, a record of stored fuel, and similar data as of the date of Substantial Completion.

PART 2 - PRODUCTS (Not Applicable)
PART 3 - EXECUTION (Not Applicable)
END OF SECTION 01 20 00

SECTION 01 30 00 - ADMINISTRATIVE REQUIREMENTS
PART 1 - GENERAL
1.1 PROJECT MANAGEMENT AND COORDINATION
A. Coordinate construction to ensure efficient and orderly installation of each part of the Work.
B. Schedule and conduct progress meetings at Project site at regular intervals. Notify Owner and Architect of meeting dates and times. Require attendance of each subcontractor or other entity concerned with current progress or involved with planning or coordination of facility activities.
C. Architect will record minutes and distribute to everyone concerned, including Owner and Architect.
D. Coordinate each submittal with fabrication, purchasing, testing, delivery, other submittals, and related activities that require sequential activity.
E. No extension of the Contract Time will be authorized because of failure to transmit submittals enough in advance of the Work to permit processing, including resubmittals.
F. Submit three copies of each submittal. Architect will return one copy.
G. Architect will discard submittals received from sources other than Contractor.
H. Place a permanent label or title block on each submittal for identification. Provide a space approximately 6 by 8 inches on label or beside title block to record Contractor's review and approval markings and action taken by Architect. Include the following information on the label:
1. Project name.
2. Date.
3. Name and address of Contractor.
4. Name and address of subcontractor or supplier.
5. Number and title of appropriate Specification Section.
6. Identify deviations from the Contract Documents on submittals.
7. Contractor's Construction Schedule Submittal Procedure. Submit two copies of schedule within 15 days after date established for Commencement of the Work.

PART 2 - PRODUCTS
2.1 ACTION SUBMITTALS
A. Product Data. Mark each copy to show applicable products and options. Include the following:
1. Manufacturer's written recommendations, product specifications, and installation instructions.
2. Wiring diagrams showing factory-installed wiring.
3. Printed performance curves and operational range diagrams.
4. Testing by recognized testing agency.
5. Compliance with specified standards and requirements.
6. Shop Drawings. Prepare Project-specific information, drawn accurately to scale. Do not base Shop Drawings on reproductions of the Contract Documents or standard printed data. Submit on sheets at least 8-1/2 by 11 inches but no larger than 30 by 42 inches. Include the following:
1. Dimensions and identification of products.
2. Fabrication and installation drawings and roughing-in and setting diagrams.
3. Wiring diagrams showing field-installed wiring.
4. Notation of coordination requirements.
5. Notation of dimensions established by field measurement.
6. Samples. Submit Samples for review of kind, color, pattern, and texture and for a comparison of these characteristics between submittal and actual component as delivered and installed. Include name of manufacturer and product name on label.
7. If variation is inherent in material or product, submit at least three sets of paired units that show variations.
8. Qualification Data. Include lists of completed projects with project names and addresses, names and addresses of architects and owners, and other information specified.
9. Product Certificates. Prepare written statements on manufacturer's letterhead certifying that product complies with requirements in the Contract Documents.

2.2 INFORMATION SUBMITTALS
A. Qualification Data. Include lists of completed projects with project names and addresses, names and addresses of architects and owners, and other information specified.
B. Product Certificates. Prepare written statements on manufacturer's letterhead certifying that product complies with requirements in the Contract Documents.

2.3 CONTRACTOR'S CONSTRUCTION SCHEDULE
A. Gantt-Chart Schedule. Submit a comprehensive, fully developed, horizontal Gantt-chart-type schedule within 15 days of date established for commencement of the Work.
B. Preparation. Indicate each significant construction activity separately. Identify first workday of each week with a continuous vertical line.

PART 3 - EXECUTION
3.1 SUBMITTAL REVIEW
A. Review each submittal and check for coordination with other Work of the Contract and for compliance with the Contract Documents. Note corrections and field dimensions. Mark with approval stamp before submitting to Architect.
B. Architect will review each action submittal, make marks to indicate corrections or modifications required, stamp and mark as appropriate to indicate action taken, and return copies less those retained.
C. Return copies less those retained.

3.2 CONTRACTOR'S CONSTRUCTION SCHEDULE
A. Distribute copies of approved schedule to Owner, Architect, subcontractors, testing and inspecting agencies, and parties identified by Contractor with a need-to-know schedule responsibility. When revisions are made, distribute updated schedule to the same parties.
B. Updating. At weekly intervals, update schedule to reflect actual construction progress and activities. Issue schedule one week before each regularly scheduled progress meeting.
C. As the Work progresses, indicate Actual Completion percentage for each activity.

END OF SECTION 01 30 00

SECTION 01 42 00 - REFERENCES
PART 1 - GENERAL
1.1 DEFINITIONS
A. General. Basic Contract definitions are included in the Conditions of the Contract.
B. "Approved." When used to convey Owner's action on Contractor's submittals, applications, and requests, "approved" is limited to Owner's duties and responsibilities as stated in the Conditions of the Contract.
C. "Directed." A command or instruction by Owner. Other terms including "requested," "authorized," "selected," "approved," "required," and "permitted" have the same meaning as "directed."
D. "Indicated." Requirements expressed by graphic representations or in written form on Drawings, in Specifications, and in other Contract Documents. Other terms including "shown," "noted," "indicated," and "specified" have the same meaning as "indicated."
E. "Regulations." Laws, ordinances, statutes, and lawful orders issued by authorities having jurisdiction, and rules, conventions, and agreements within the construction industry that control performance of the Work.
F. "Furnish." Supply and deliver to Project site, ready for unloading, unpacking, assembly, installation, and similar operations.
G. "Install." Operations at Project site including unloading, unpacking, assembling, erecting, placing, anchoring, applying, working to dimension, finishing, curing, protecting, cleaning, and similar operations.
H. "Provide." Furnish and install, complete and ready for the intended use.
I. "Project Site." Space available for performing construction activities. The extent of Project site is shown on Drawings and may or may not be identical with the description of the land on which Project is to be built.

1.2 INDUSTRY STANDARDS
A. Applicability of Standards. Unless the Contract Documents make more stringent requirements, applicable construction industry standards have the same force and effect as if bound or copied directly into the Contract Documents to the extent referenced. Such standards are made a part of the Contract Documents by reference.
B. Publication Dates. Comply with standards in effect as of date of the Contract Documents, unless otherwise indicated.
C. Copies of Standards. Each entity engaged in construction on Project should be familiar with industry standards applicable to its construction activity. Copies of applicable standards are not bound with the Contract Documents.
D. Where copies of standards are needed to perform a required construction activity, obtain copies directly from publication source.

1.3 ABBREVIATIONS AND ACRONYMS
A. Industry Organizations. Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities indicated in Gale Research's "Encyclopedia of Associations" or in Columbia Books' "National Trade & Professional Associations of the U.S."
B. "Project Site." Space available for performing construction activities. The extent of Project site is shown on Drawings and may or may not be identical with the description of the land on which Project is to be built.

PART 2 - PRODUCTS (Not Used)
PART 3 - EXECUTION (Not Used)
END OF SECTION 01 42 00

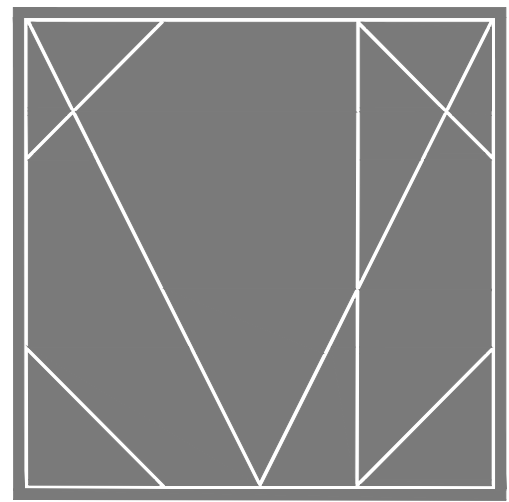
SECTION 01 50 00 - TEMPORARY FACILITIES AND CONTROLS
PART 1 - GENERAL
1.1 SECTION REQUIREMENTS
A. Use Charges. Cost of use charges for temporary facilities shall be included in the Contract Sum.
B. Use water and electric power from Owner's existing system without metering and without payment of use charges.
C. Electrical Service. Comply with NEMA, NEC, and UL standards and regulations for temporary electric service. Install service to comply with NFPA 70.

PART 2 - PRODUCTS
2.1 EQUIPMENT
A. Heating Equipment. Unless Owner authorizes use of permanent heating system, provide vented, self-contained heaters with thermostatic control.
B. Use of gasoline-burning space heaters, open-flame heaters, or salamander-type heating units is prohibited.
C. Heating Units. Listed and labeled, by a testing agency acceptable to authorities having jurisdiction, and marked for intended use.

PART 3 - EXECUTION
3.1 TEMPORARY UTILITIES
A. General. Arrange with utility company, Owner, and existing users for time when service can be interrupted, if necessary, to make connections for temporary services.
B. Sanitary Facilities. Use of Owner's existing toilet facilities will be permitted, as long as facilities are cleaned and maintained in a condition acceptable to Owner.
C. Heating and Cooling. Provide temporary heating and cooling required for curing or drying of completed installations or for protecting installed construction from adverse effects of low temperatures or high heat that will have a harmful effect on completed installations or elements being installed.
D. Provide temporary lighting with local switching that provides adequate illumination for construction operations, observations, inspections, and traffic conditions.

3.2 TEMPORARY SUPPORT FACILITIES
A. Provide field offices, storage and fabrication sheds, and other support facilities as necessary for construction operations.
B. Provide waste-collection containers in sizes adequate to handle waste from construction operations. Collect waste daily and, when containers are full, legally dispose of waste off-site. Comply with requirements of authorities having jurisdiction.
C. Install project identification and other signs in locations approved by Owner and Architect to inform the public and persons seeking entrance to Project.

3.3 TEMPORARY SECURITY AND PROTECTION FACILITIES
A. Provide temporary environmental protection, operate temporary facilities, and conduct construction in ways and by methods that comply with environmental regulations and that minimize possible air, waterway, and subsol contamination or pollution or other undesirable effects.
B. Provide temporary enclosures for protection of construction and workers from inclement weather and for containment of heat.
C. Provide floor-to-ceiling dustproof partitions to limit dust and dirt migration and to separate areas occupied by Owner and tenants from fires and noise.
D. Com



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ARCHITECT OF RECORD
FRANK W. CAMPBELL AIA
FL LIC. NO. AR0016053
COPY OF THIS PLAN IS NOT VALID UNLESS SIGNED,
SEALED AND DATED BY THE ARCHITECT OF RECORD.
SEAL

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CONSIDERATION SEAL

PROJECT DESCRIPTION:
HEATHROW CENTRE
BUILDING - 02
EMPTY SHELL BUILDING
1165 BUSINESS CENTER DRIVE
LAKE MARY, FLORIDA, 32746

DATE FOR

CONSTRUCTION

10.24.2025

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TEAM

PROJECT ARCHITECT

F. CAMPBELL

PROJECT MANAGER

B. BUCKLEY

CLIENT NAME

Providence One Partners

PROJECT NUMBER

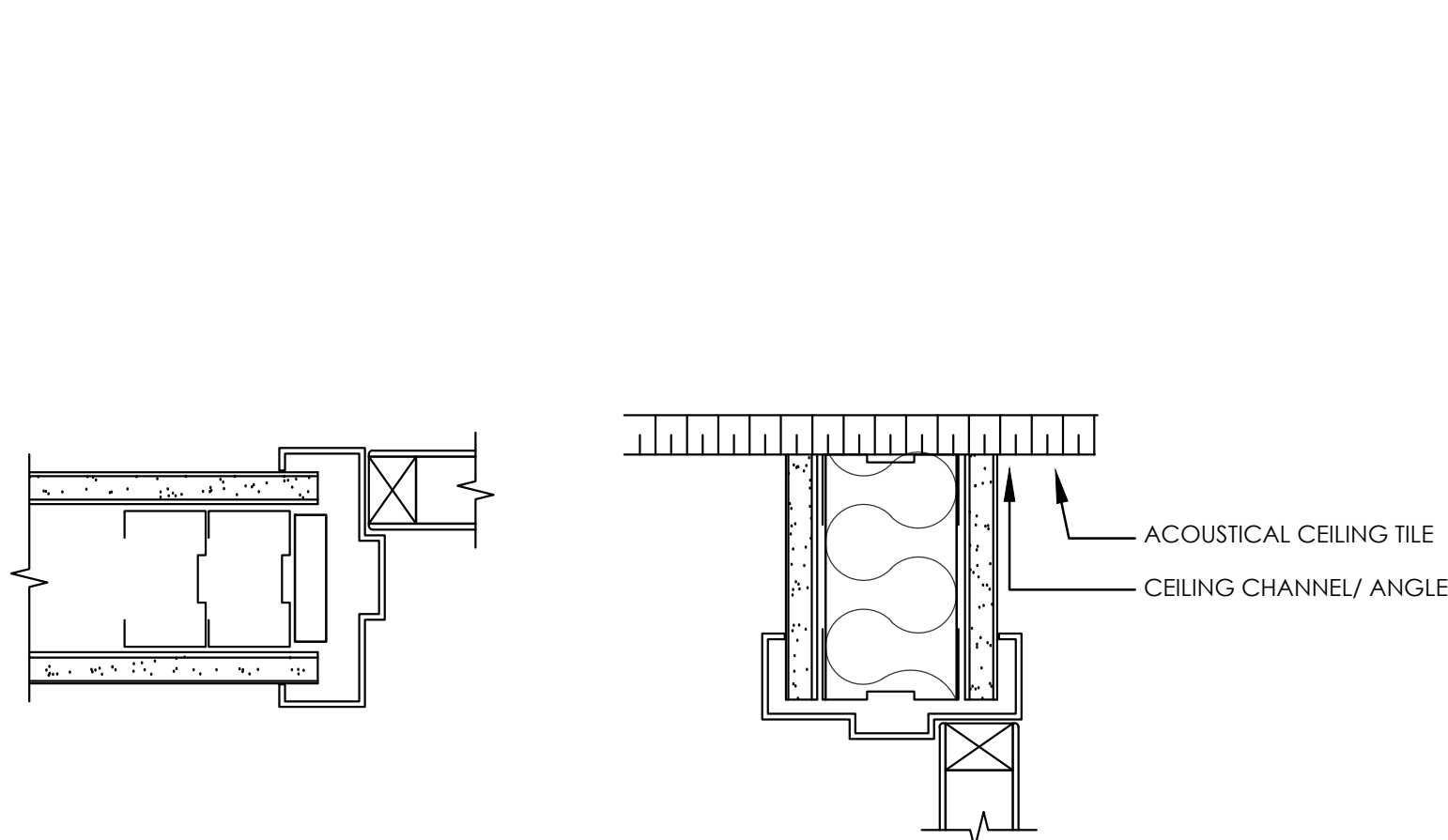
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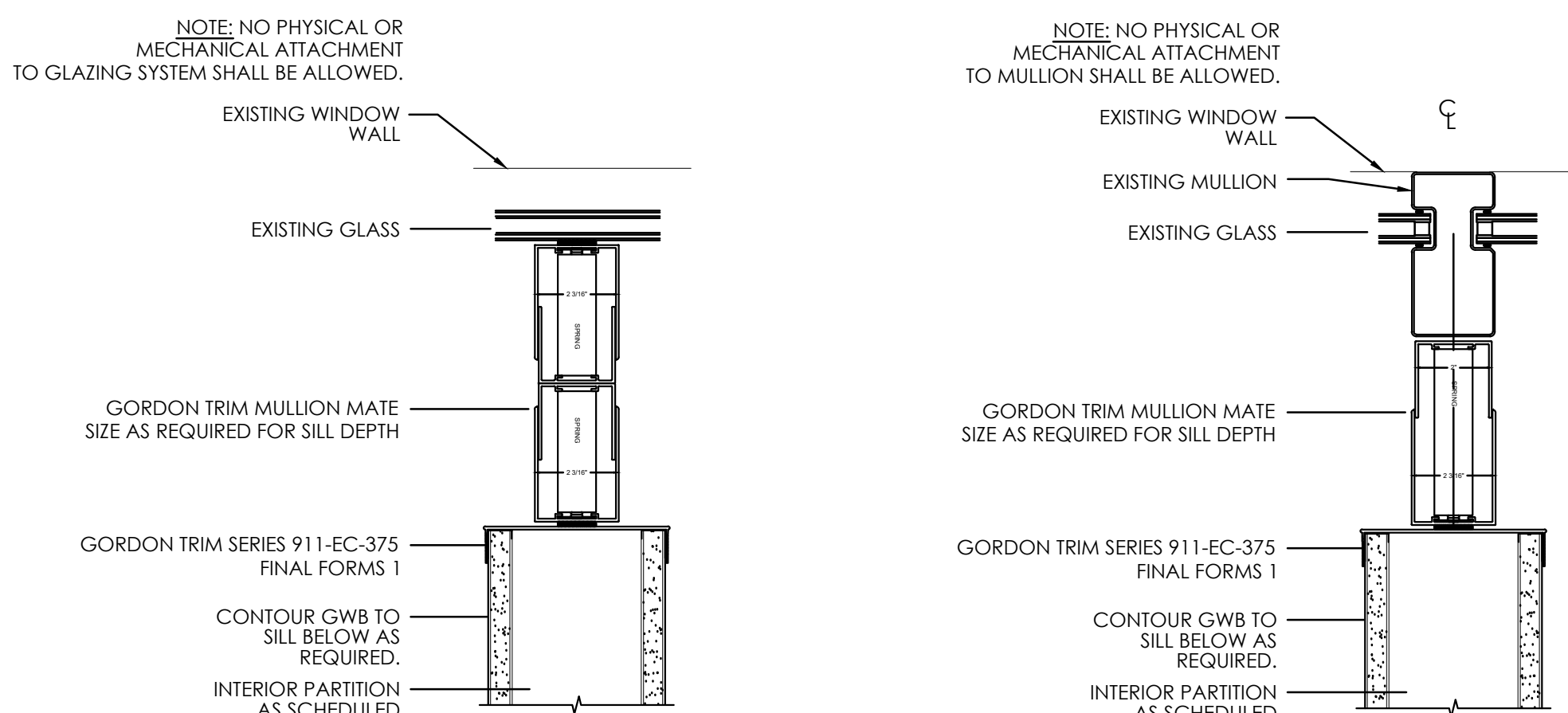
PARTITION TYPES/
DETAILS

SHEET NUMBER

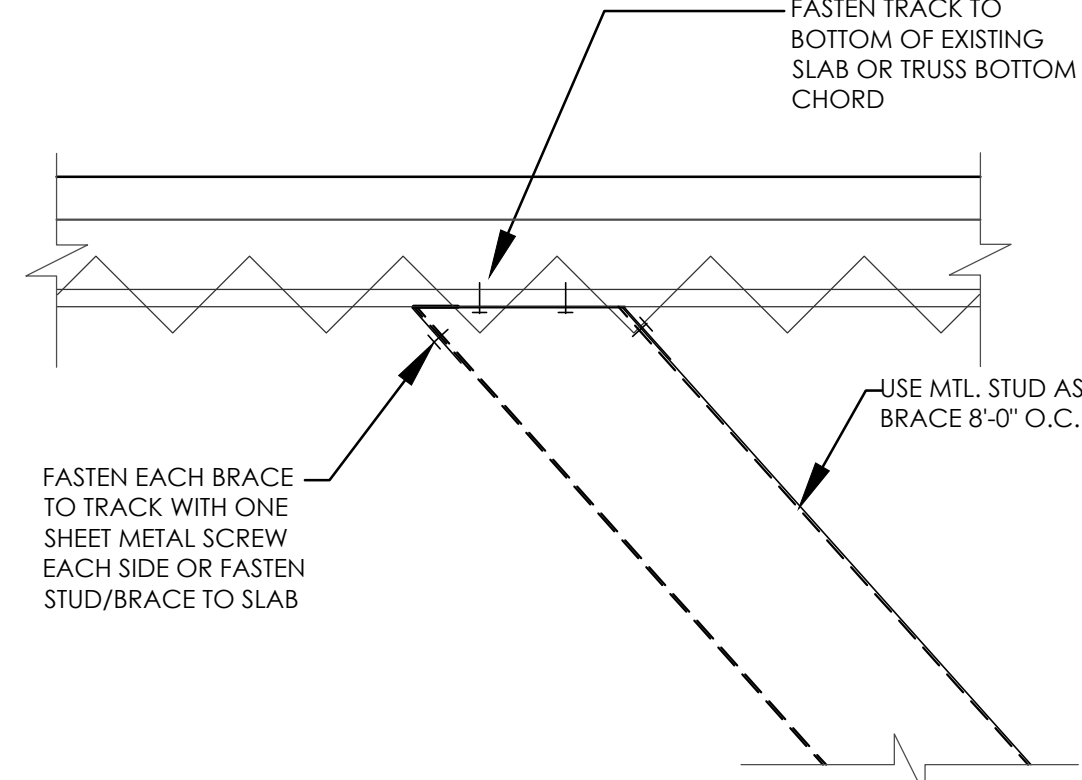
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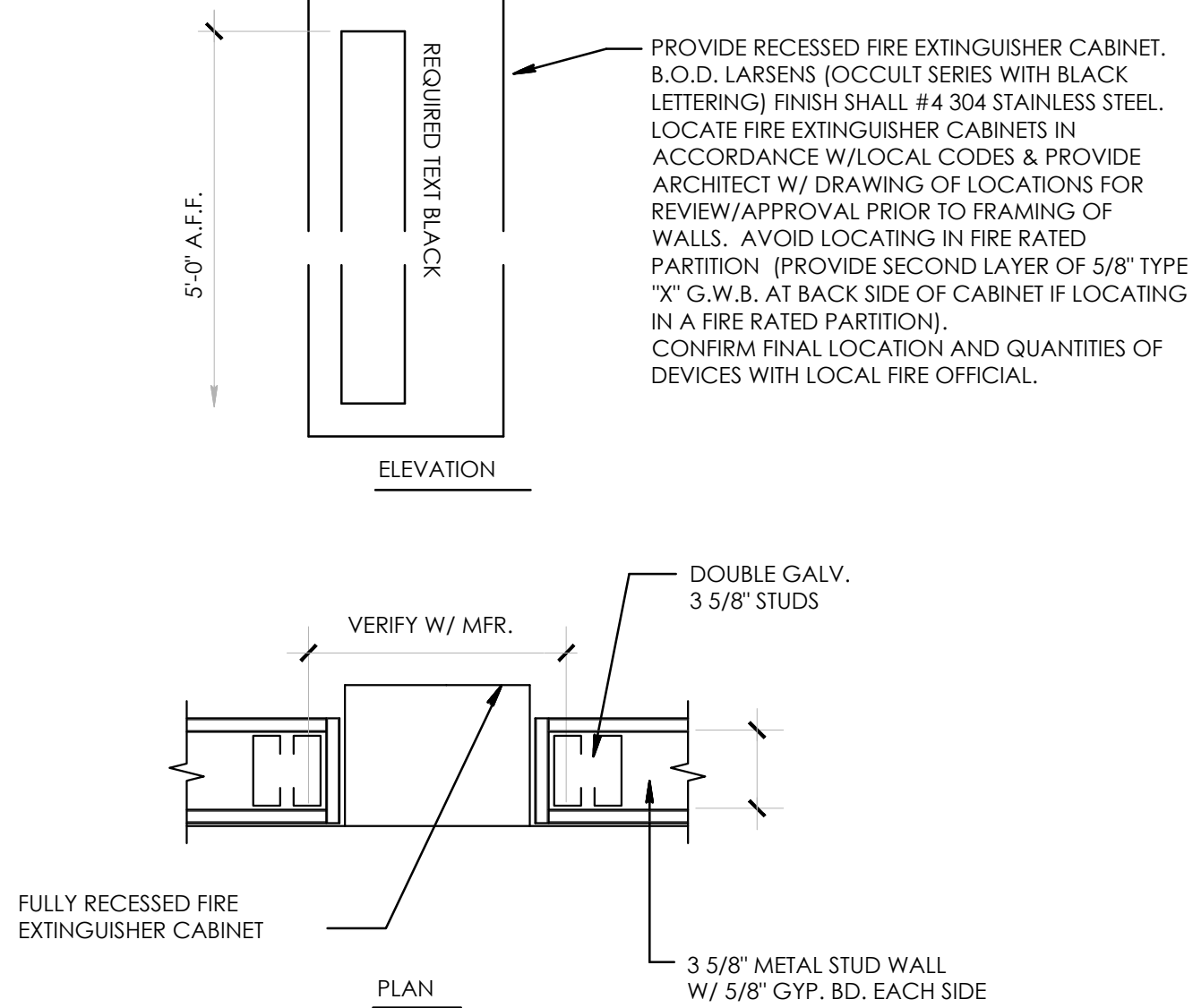
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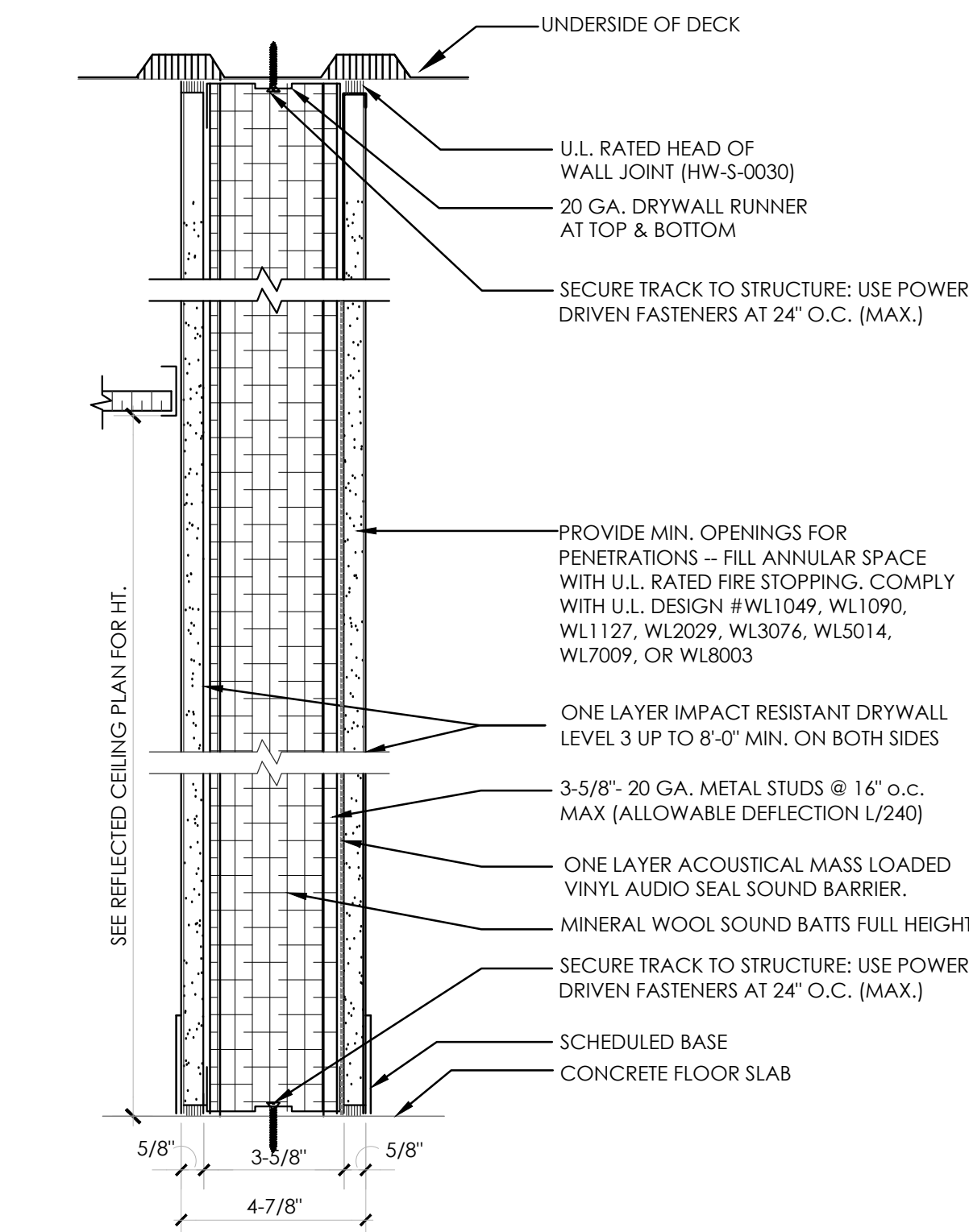


TYPICAL WALL/SOFFT BRACE TO B.O. SLAB

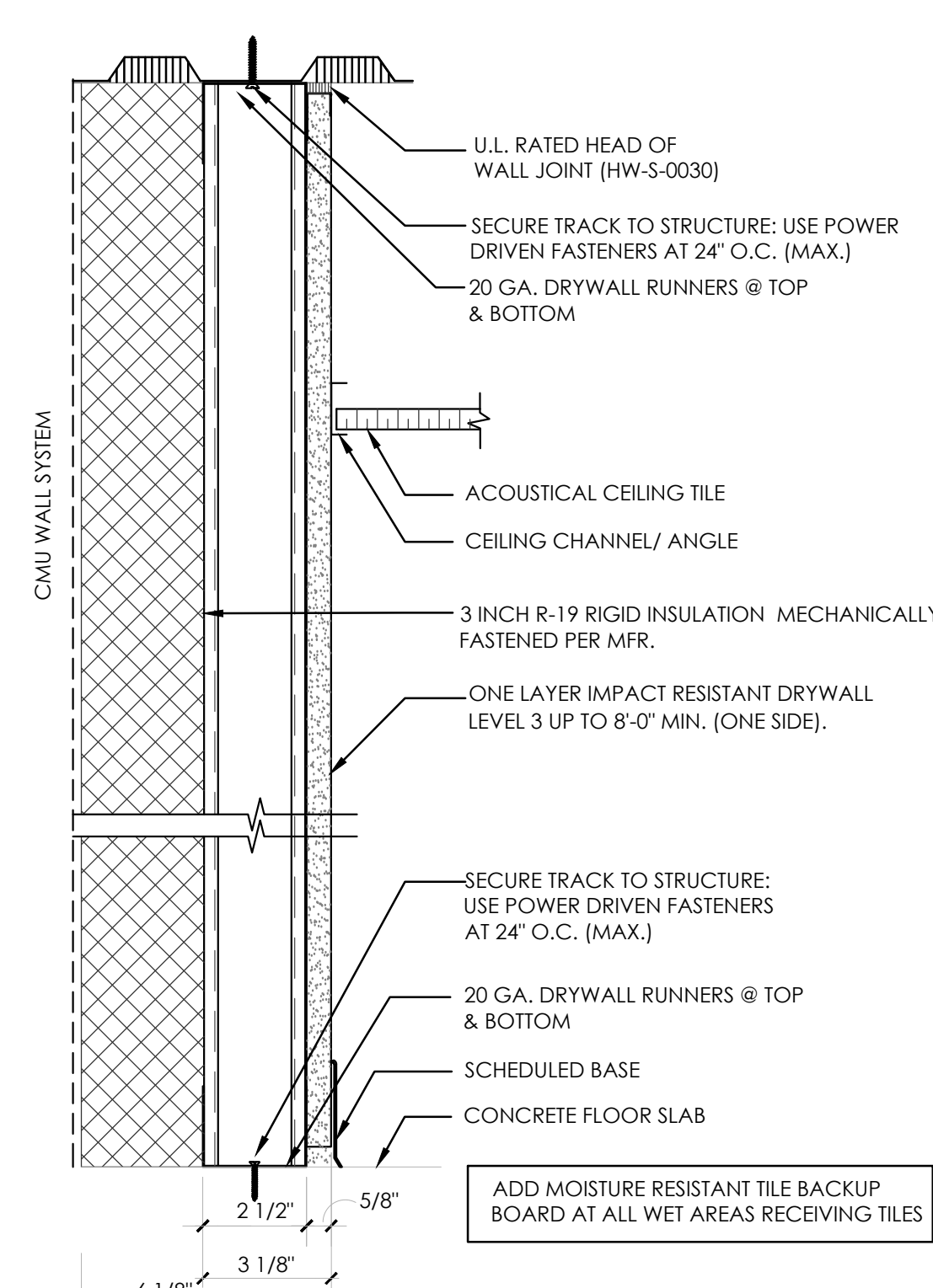


3/A0.5 DETAILS SCALE: N.T.S.

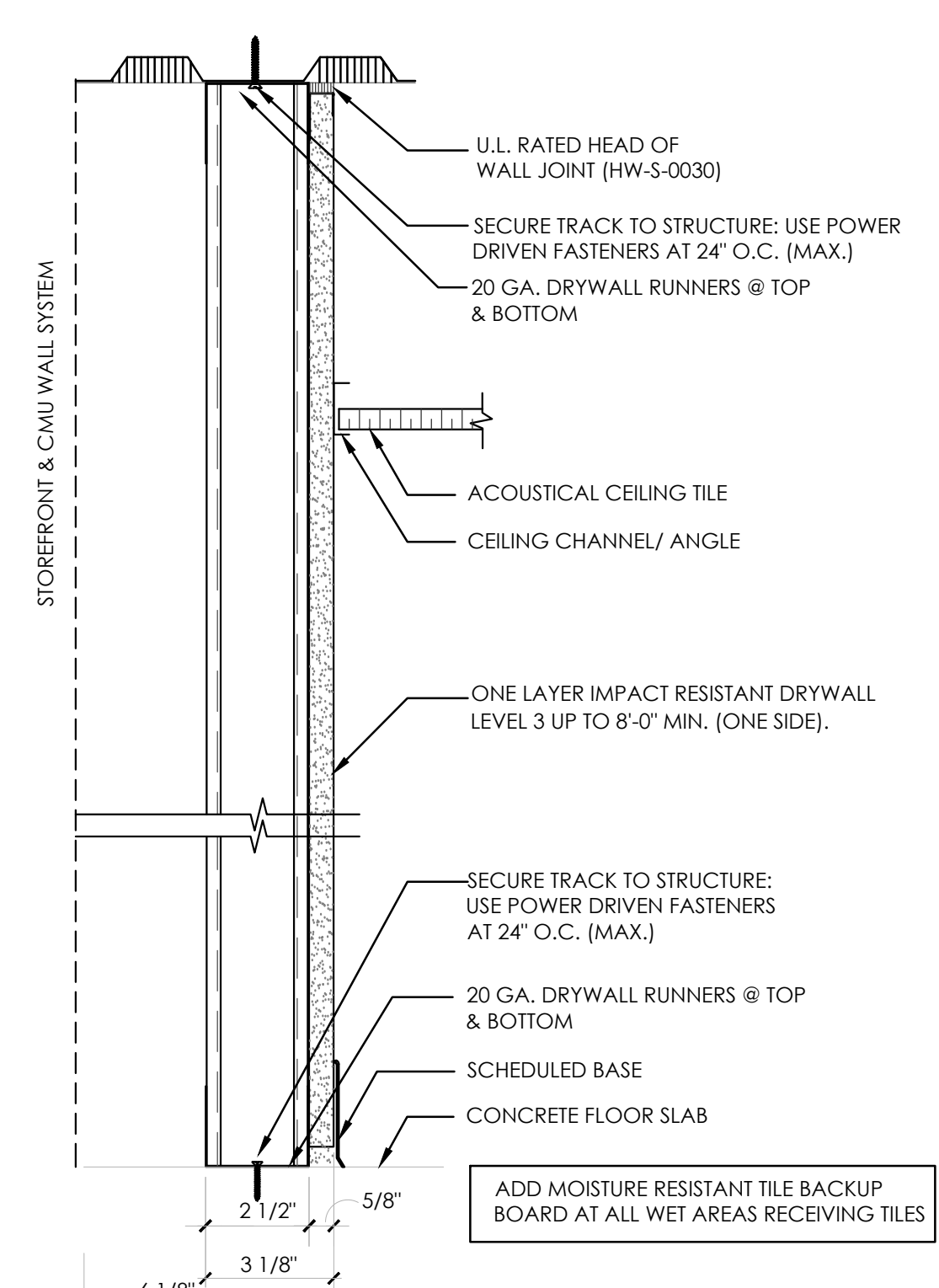
2/A0.5 DETAILS SCALE: 3" = 1'-0"



TYPE A - STRUCTURE TO STRUCTURE - SMOKE PARTITION

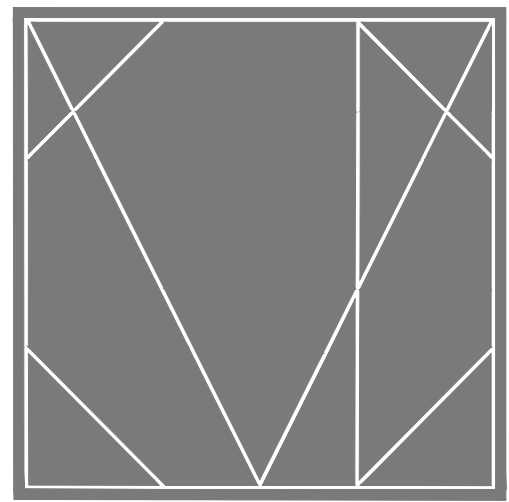


TYPE B - CHASE PARTITION TO STRUCTURE NON-RATED



TYPE B - CHASE PARTITION TO STRUCTURE NON-RATED

1/A0.5 WALL TYPES A/B/C/D/E/F/G/H SCALE: N.T.S.



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HEATHROW CENTRE
BUILDING - 02
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CONSTRUCTION

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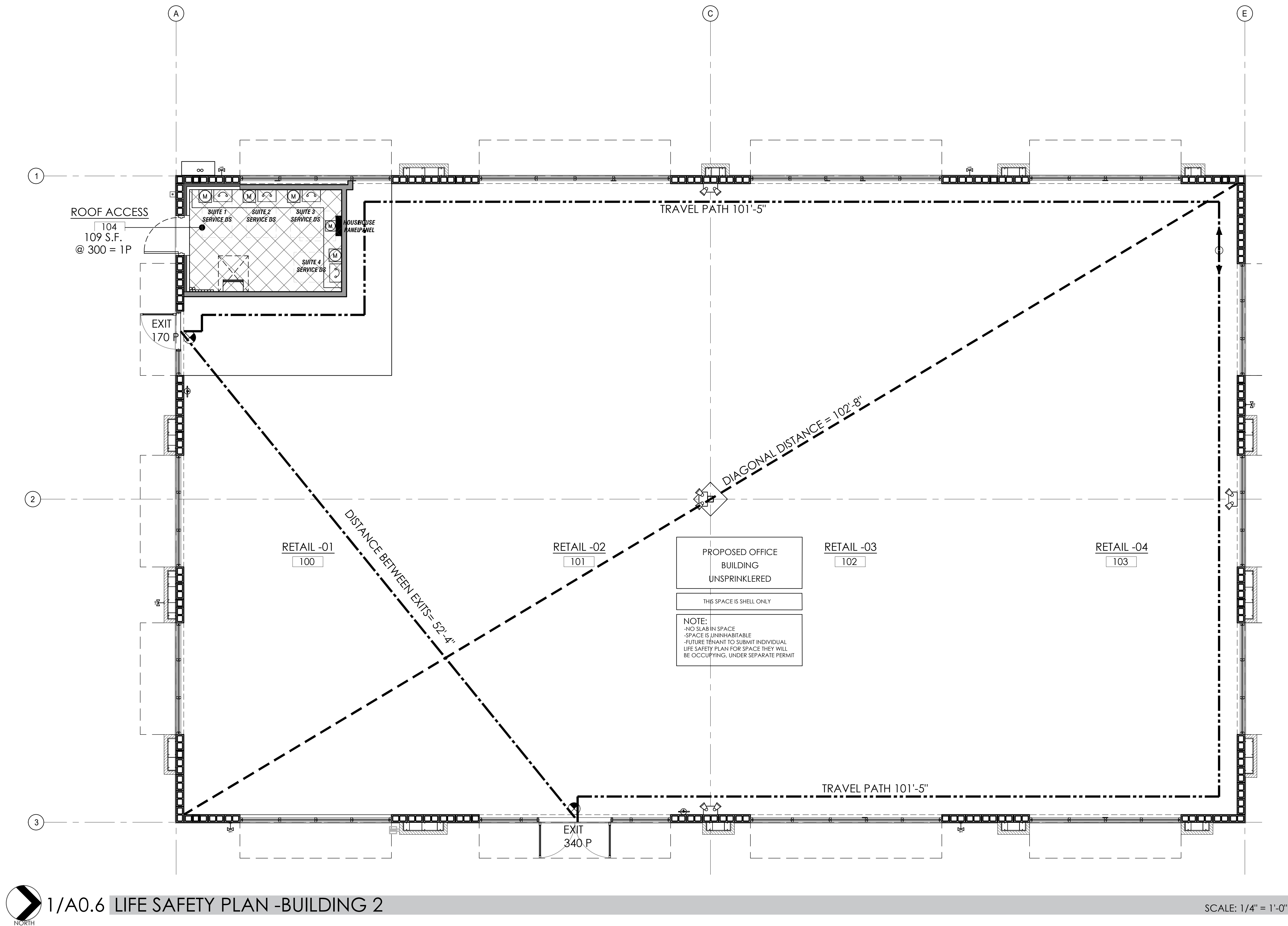
PROJECT TEAM
PROJECT MANAGER
F. CAMPBELL
PROJECT MANAGER
B. BUCKLEY

CLIENT NAME
Providence One Partners

PROJECT NUMBER
24-0919-01

PROJECT FILE
LIFE SAFETY PLAN - BLDG 2

SHEET NUMBER
A0.6



1/A0.6 LIFE SAFETY PLAN -BUILDING 2

SCALE: 1/4" = 1'-0"

NOTES:

- BUILDING IS UN-SPRINKLERED; ALLOWABLE TRAVEL DISTANCE IS 250'-0" MAX.
- CONTRACTOR SHALL PROVIDE ONE ABC TYPE FIRE EXTINGUISHER FOR EVERY 3,000 S.F. OF BUILDING AREA. EXTINGUISHERS SHALL BE MOUNTED @48" AFF TO TOP OF HANDLE, AND NOT EXCEED 75' TRAVEL DISTANCE FROM ANY LOCATION INSIDE DE SPACE(S). COORDINATE LOCATION WITH OWNER PRIOR TO INSTALLATION. SHALL BE CURRENTLY TAGGED BY A LICENSED FIRE EQUIPMENT COMPANY.
- THERE IS AN ACCESSIBLE ROUTE FOR THE PUBLIC FROM ACCESSIBLE PARKING SPACES THROUGH RAMP, TO ENTRY DOORS AND INTO BUILDING. ALL PUBLIC AREAS ARE ACCESSIBLE AND HAVE NO LEVEL CHANGES GREATER THAN 1/2" EXCEPT AS PROVIDED BY RAMP.
- THIS BUILDING SHALL COMPLY WITH SECURITY AND FORCE ENTRY PREVENTION OF THE LATEST EDITION OF THE F.B.C.
- PROVIDE OCCUPANCY SIGN CONFORMING TO APPLICABLE BUILDING CODE REQUIREMENTS.
- DURING CONSTRUCTION THE G.C. IS TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A-10BC WITHIN 75' TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT.
- THE OPENING FORCE FOR INTERIOR SIDE-SWINGING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 9LB. FORCE. FOR OTHER SIDE-SWINGING, SLIDING OR FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15LB FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30LB FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15LB FORCE. FORCES SHALL BE APPLIED TO THE LATCH SIDE.
- EMERGENCY LIGHTING W/ BATTERY BACKUP SHOWN FOR REFERENCE ONLY. FINAL LOCATION TO BE DETERMINED PENDING FINAL LOCATION OF TENANT SEPARATION INTERIOR WALLS.

PROPOSED BUSINESS OCCUPANCY

OVERALL BUILDING AREA SF.....=4,824 S.F.
SHELL AREA.....=4,512 S.F.
BUSINESS OCC:.....4,512 S.F.@150= 31P

OTHER OCCUPANCIES GROUP B 448 SF

ROOF ACCESS 104: 108 SF@ 300=1P

TOTAL OCCUPANCY =32P

EXIT CAPACITY PROVIDED = 510P

OVERALL DIAGONAL =102'-8"

DISTANCE BETWEEN EXITS = 52'-4"

COMMON PATH OF TRAVEL DISTANCE = 39'-0"

MAX TRAVEL DISTANCE = 101'-5"

LIFE SAFETY LEGEND

ALL DIMENSIONS ARE ON CENTER FROM FINISHED INTERIOR

SYMBOL	DESCRIPTION
◀	DIRECTION OF TRAVEL
—	TRAVEL PATH
---	DISTANCE BETWEEN EXITS
- - -	DIAGONAL DISTANCE
▬	1 HOUR FIRE RATED WALL ASSEMBLY
⊗	EXISTING WALL HUNG FIRE EXTINGUISHER
◼	NEW FLUORESCENT 2'X2' FIXTURE EMERGENCY LIGHT WITH 90 MINUTE BATTERY BACKUP.
⊕	LIGHTED EXIT SIGN: TWO SIDED, FROM DUAL DIRECTION, W/BATTERY BACKUP.
⊖	LIGHTED EXIT SIGN: SINGLE SIDED, FROM SINGLE DIRECTION, W/BATTERY BACKUP.
⊕⊖	LIGHTED EXIT SIGN & DUAL EXIT LIGHTING COMBO: SINGLE AND OR DUAL DIRECTION W/BATTERY BACKUP
⊕	NEW WALL RECESSED FIRE EXTINGUISHER
KX	KEYNOTE SYMBOL

* FOR SYMBOLS AND REQUIREMENTS SEE ELECTRICAL SHEETS.

GENERAL NOTES

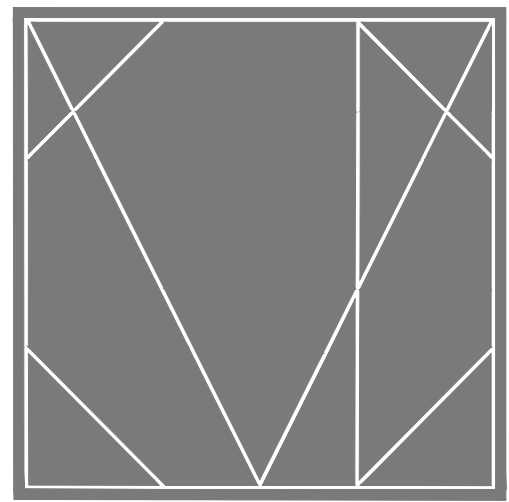
THE MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL BE:
FOR EXITS AND EXIT ACCESS CLASS B
FOR ALL OTHER AREAS CLASS C

KEYED NOTES

- NOTE:
- 104 REUSE EXISTING WALL MOUNTED FIRE EXTINGUISHER U.N.O..
- 1 PROVIDE RECESSED FIRE EXTINGUISHER CABINET, 8 O.D. LARSENS (OCULIT SERIES WITH BLACK LETTERING) FINISH SHALL #4 304 STAINLESS STEEL. LOCATE FIRE EXTINGUISHER CABINETS IN ACCORDANCE W/LOCAL CODES & PROVIDE ARCHITECT W/ DRAWING OF LOCATIONS FOR REVIEW/APPROVAL PRIOR TO FRAMING OF WALLS. AVOID LOCATING IN FIRE RATED PARTITION PROVIDE SECOND LAYER OF 5/8" THK "X" G.I.B. AT BACK SIDE OF CABINET IF LOCATING IN A FIRE RATED PARTITION. CONFIRM FINAL LOCATION AND QUANTITIES OF DEVICES WITH LOCAL FIRE OFFICIAL.
- 2 EGRESS WILL BE MAINTAINED WHILE CONSTRUCTION IS ONGOING. MAINTAIN REQUIRED MEANS OF EGRESS AND REQUIRED FIRE PROTECTION FEATURES AS REQUIRED PER IFPC 6TH EDITION, NFPA 1, CHAPTER 4, SECTION 4.5.6.1.
- 3 ACCUMULATIONS OF COMBUSTIBLE WASTE MATERIAL, DUST, AND DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF EACH WORK SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS. IFPC, NFPA 1, UNIFORM FIRE CODE, CHAPTER 16, SECTION 16.2.2.

FIRE NOTES:

- ILLUMINATED EXIT SIGNS ARE PROVIDED THROUGHOUT THE SPACE. ALL EXIT SIGNS SHALL HAVE BATTERY BACKUP.
- THIS SPACE IS PROVIDED WITH APPROVED BATTERY POWERED EMERGENCY LIGHTING TO ILLUMINATE ALL REQUIRED MEANS OF EGRESS.
- DOORS ARE ARRANGED TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE.
- EMERGENCY LIGHTING UNITS ARE TO BE WIRED INTO THE NORMAL LIGHTING CIRCUIT AND ARRANGED AS TO PROVIDE THE REQUIRED ILLUMINATION AUTOMATICALLY IN THE EVENT OF ANY INTERRUPTION OF NORMAL LIGHTING SUCH AS ANY FAILURE OF PUBLIC UTILITY OR OUTSIDE ELECTRICAL POWER SUPPLY, OPENING OF A CIRCUIT BREAKER OR FUSE, OR ANY MANUAL ACTS INCLUDING ACCIDENTAL OPENING OF SWITCH CONTROLLING NORMAL LIGHTING FACILITIES.
- THE ELEVATION OF THE FLOOR SURFACES ON BOTH SIDES OF A DOOR SHALL NOT VARY BY MORE THAN 1/2". THE ELEVATION SHALL BE MAINTAINED ON BOTH SIDES OF THE DOORWAY FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE WIDEST LEAF. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES IN EXCESS OF 1/4" SHALL BE BEVELED WITH A SLOPE OF NOT STEEPER THAN 1 IN 2.
- A LATCH OR OTHER FASTENING DEVICE ON A DOOR ARE PROVIDED WITH A RELEASING DEVICE HAVING AN OBVIOUS METHOD OF OPERATION AND THAT IS READILY OPERATED UNDER ALL LIGHTING CONDITIONS. THE RELEASING MECHANISM FOR ANY LATCH SHALL BE NOT LESS THAN 34", AND NOT MORE THAN 48" ABOVE FINISH FLOOR. DOORS SHALL BE OPERABLE WITH NOT MORE THAN ONE RELEASING OPERATION.
- ALL FIRE THRU PENETRATIONS & WALL TYPE ASSEMBLIES SHOWN ON THIS CONTRACT DOCUMENTS ARE BASED UPON MANUFACTURE'S PRODUCT SPECIFIC PROPERTIES & REQUIREMENTS AS SUBMITTED BY PRODUCT MANUFACTURE TO THE INDEPENDENT AGENCY FOR TESTING AS A COMPLETE ASSEMBLY.
- AT THE ARCHITECT DISCRETION & WITH OWNER'S APPROVAL, G/C MAY SUBMIT DURING SHOP DRAWING REVIEW ALTERNATE MANUFACTURES FOR REVIEW. BURDEN OF PROOF SHALL REST ONLY ON THE G/C. ALTERNATE ASSEMBLIES SHALL BE SUBMITTED AS A COMPLETE PACKAGE, INCLUDING BUT NOT LIMITED ALL PRODUCT DATA SHEETS COVERING PROPOSED ASSEMBLY. BEARING UL ASSEMBLY REQUIREMENTS TO MEET OR EXCEED FIRE RATED CONDITIONS NOTED ON THE CONTRACT DOCUMENT & EXPLANATION AS TO WHY SYSTEM NOTED ON CONSTRUCT DOCUMENTS IS BEING CHANGED.
- SHOP DRAWINGS SHALL BE REVIEW FOR COMPLIANCE FOR COMPLETENESS PRIOR TO ISSUANCE FOR ARCHITECTS REVIEW.



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ARCHITECT OF RECORD
FRANK W. CAMPBELL AIA
FL LIC. NO. AR0016053
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DATE: _____

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PROJECT DESCRIPTION:
HEATHROW CENTRE
BUILDING - 02
EMPTY SHELL BUILDING
1165 BUSINESS CENTER DRIVE
SUITE 1025 AND SUITE 1075
LAKE MARY, FLORIDA. 32746

CONSTRUCTION

10.24.2025

NO.	DESCRIPTION	DATE

PROJECT TEAM
PROJECT MANAGER
F. CAMPBELL
PROJECT MANAGER
B. BUCKLEY

CLIENT NAME
Providence One Partners

PROJECT NUMBER
24-0919-01

SHEET FILE

FLOOR PLAN

SHEET NUMBER

A2.0

PLAN NOTES:

(BOXED NOTE NUMBERS ARE KEYED TO PLAN)

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK WITH THE BUILDING LANDLORD WITH REFERENCE TO ROOF WARRANTIES AND/OR THE PRESCRIBED REQUIREMENTS FOR NEW ROOF PENETRATIONS. IN NO CASE SHOULD CONTRACTOR DO ANYTHING TO VOID ROOF WARRANTIES. CONTRACTOR IS REQUIRED TO HAVE BUILDING LANDLORD'S ROOFING CONTRACTOR MAKE, SUPERVISE, OR APPROVE ALL NEW ROOF PENETRATIONS.

1A THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL MAKE REDLINE AS-BUILT NOTES ON THE DRAWINGS OF ALL DEVIATIONS FROM THE PLANS MADE DURING THE COURSE OF CONSTRUCTION. CONTRACTOR SHALL SUBMIT REDLINE NOTES AND DRAWINGS TO THE ARCHITECT AT THE COMPLETION OF CONSTRUCTION. IF NO DEVIATIONS OR CHANGES HAVE BEEN MADE DURING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A LETTER TO THE ARCHITECT STATING THAT NO CHANGES WERE MADE.

1B SUBCONTRACTORS SHALL GIVE TO CONTRACTOR PRODUCT LITERATURE FOR INSTALLED EQUIPMENT AND PRODUCTS THAT REQUIRE MAINTENANCE OF ANY TYPE (INCLUDING RELAMP OF LIGHT FIXTURES) AND ANY MAINTENANCE INSTRUCTIONS OR WARRANTIES AND THE CONTRACTOR SHALL OBTAIN PHONE NUMBERS AND ADDRESSES OF CONTRACTS FOR REPAIR/MAINTENANCE AND BIND ALL OF THIS INFORMATION IN AN 8 1/2 X 11 NOTEBOOK. THIS MANUAL SHALL ALSO INCLUDE A COMPLETE LISTING OF IDENTIFICATION FOR ALL FINISH MATERIALS INCLUDING CEILING TILE, FLOOR TILE AND CARPET, AND PLASTIC LAMINATE AND PAINT. CONTRACTOR SHALL DELIVER THIS PROJECT MAINTENANCE MANUAL TO OWNER AT COMPLETION OF PROJECT.

1C THIS IS EQUIPMENT OR FURNITURE, NOT CONSTRUCTION. SEE EQUIPMENT/MEP DRAWINGS FOR PREPARATION AND COORDINATION REQUIRED BY CONTRACTOR. ALL SUBCONTRACTORS SHALL CONTACT AND COORDINATE WITH EQUIPMENT SUPPLIER FOR LAYOUT TEMPLATES AND VERIFICATION/REVIEW OF ROUGH-INS.

3A POUR SLABS AND STOOPS FLUSH WITH FINISH FLOOR AT DOOR AND SLOPE AWAY FROM THE BUILDING AT A MAXIMUM SLOPE OF 1:50'

3B CONCRETE SLAB TO BE 4" MINIMUM THICK. FOR REQUIREMENTS SEE STRUCTURAL DRAWINGS.

5K GRAB BARS @ HANDICAP TOILETS:
1 1/2" DIA., 1 1/2" CLEAR FROM WALL, 33"-36" ABOVE FINISHED FLOOR ANCHORED TO SUPPORT 250 LBS.
ONE 42" LONG AT SIDE OF TOILET.
ONE 36" LONG BEHIND TOILET.
[SEE TOILET ROOM DETAILS FOR PLACEMENT.]

6A TYPICAL INTERIOR NON-BEARING WALLS: 3 5/8" 20 GA. MTL STUDS @ 16" O.C. WITH TOP AND BOTTOM RUNNER AND 5/8" GYP BOARD ON BOTH SIDES.

6B INTERIOR BEARING WALLS:
6" 20 GA. MTL STUDS @ 16" O.C. WITH TOP AND BOTTOM RUNNERS AND 5/8" GYP BOARD ON BOTH SIDES.
SEE WALL TYPE "D" DTLS & SCTNS.

6D CHASE WALLS: 3 5/8" METAL STUDS @ 24" O.C. WITH MOISTURE-RESISTANT 5/8" GYP. BOARD ON ONE SIDE.

6F PROVIDE 3 1/2" WIDE 12 GA. MTL BLOCKING STRIPS @ MOUNTING LOCATIONS OF BUILT-IN OR SURFACE-MOUNTED ACCESSORIES INCLUDING TOILET GRAB BARS AND WALL MOUNTED LCD SCREENS. AT CABINETS, PROVIDE 1X6 FIRE-RETARDANT-TREATED WOOD BACKING. VERIFY SIZE AND LOCATION OF THIS BLOCKING WITH PRODUCT/EQUIPMENT/CABINET INSTALLATION RECOMMENDATIONS OR NEEDS.

6K ALL WOOD FRAMING SHALL BE KILN-DRIED AND HAVE A MINIMUM FIBER STRESS OF 1200 PSI.

6Q CEILING: SEE RCP AND SECTIONS AND DETAILS ON REFLECTED CEILING PLAN. DIMENSIONS AND ELEVATIONS SHOWN ON THESE SHEETS ARE FINISHED. ALL CEILING FRAMING TO BE @ 24" O.C. W/GYPSUM BOARD FINISH.

6R ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED OR HAVE AN APPROVED SEPARATING MATERIAL.

6X PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING AT ALL WALL MOUNTED CABINETS AND WALL MOUNTED LCD SCREENS FOR MOUNTING.

7A SEALANT: APPLY SEALANT AT JOINING OF ALL DISSIMILAR MATERIALS EXPOSED TO WEATHER AND AT GAPS EXPOSED TO VIEW.

7B SEALANT: PROVIDE A FULL BED OF SEALANT AT WINDOW AND DOOR FRAMES (INCLUDING THRESHOLD) AND A CONTINUOUS BEAD AT PERIMETER OF EXTERIOR AND INTERIOR WINDOWS AND DOORS.

7H SOUND BATT INSULATION IN INTERIOR WALLS AS INDICATED. SEE WALL LEGEND, THIS SHEET, AND WALL TYPES. SHEET A0.4 AND A0.5

7P ROOF PENETRATIONS: AT ALL ROOF PENETRATIONS, THE CONTRACTOR SHALL PROVIDE AND INSTALL FLASHING BOOT COMPATIBLE WITH THE ROOFING MATERIAL AND INSTALLED AS PER ROOFING MFR'S SPECS.

8A ALL GLASS IN DOORS OR SIDELIGHTS SHALL BE TEMPERED AND SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2023, SECTION 2406, SAFETY GLAZING. GLASS IN RATED DOORS SHALL COMPLY W/RATING OF DOOR.

8B ALL DOOR HARDWARE SHALL MEET CURRENT ADA AND FLORIDA ACCESSIBILITY CODES.

8C NOT USED

8F PROVIDE WINDOW SILLS (MATCH EXISTING BUILDING STANDARD) @ INTERIOR OF EACH WINDOW UNIT NOTED.

9B 1/2" GYP BOARD MAY BE USED ON SIDES AND BOTTOM OF DROPPED SOFFITS UNLESS NOTED OTHERWISE.

9C AT ALL CHANGES IN FLOOR MATERIAL, PROVIDE APPROPRIATE ADA-COMPLIANT TRANSITION STRIP. IF AT DOOR, LOCATE DIRECTLY UNDER DOOR.

9E WHEN NOT INDICATED ON PLANS, VERIFY COLOR AND PATTERN SELECTIONS WITH OWNER.

9F PROVIDE BLACK OUT WINDOW FILM, AT WINDOW GLAZING LOCATION.

9K FILL IN DRYWALL AT DEMOLISHED WALL LOCATIONS. TAPE AND FINISH NEW DRYWALL TO BE FLUSH WITH ADJACENT REMAINING WALL.

9N ALL TOILETS: USE 5/8" MOISTURE RESISTANT GYPSUM BOARD ON BATHROOM SIDE OF ALL WALLS BEHIND A TOILET AND/OR LAVATORY.

9Y LEAVE 1/2" GAP BETWEEN FINISH FLOOR AND BOTTOM EDGE OF GYPSUM BOARD.

9Z PREPARE ALL WALLS FOR PAINT, TO A GA 216 LEVEL 4 DRYWALL FINISH.

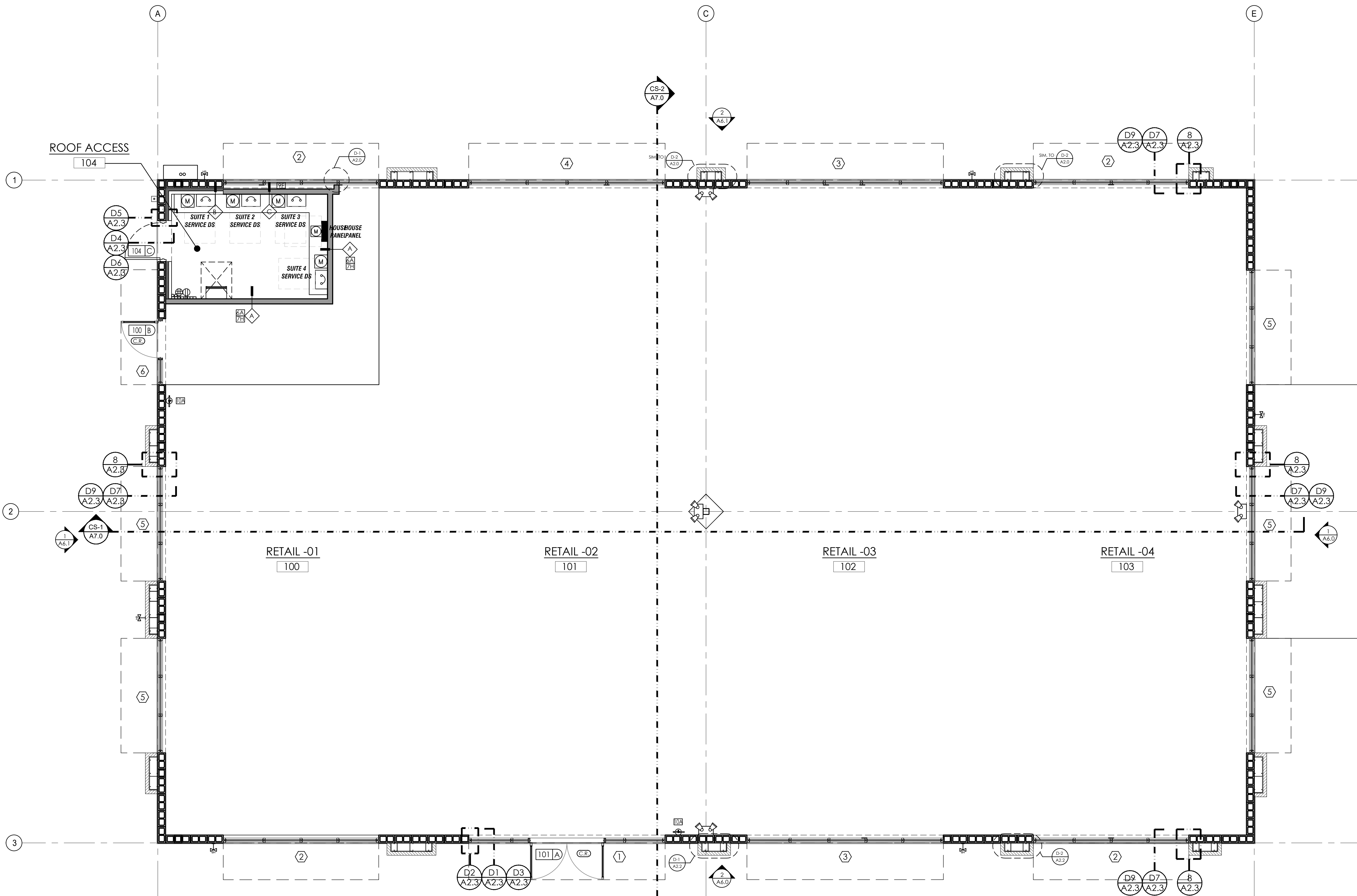
10A PROVIDE AND INSTALL TYPE 2A10 BC FIRE EXTINGUISHER (S) WHERE SHOWN ON PLAN. THE TOP OF FIRE EXTINGUISHER SHALL NOT BE MORE THAN 5 FT. ABOVE THE FLOOR (3 1/2 FT. IF FIRE EXTINGUISHER'S GROSS WEIGHT IS MORE THAN 40 LBS) AND BOTTOM NOT LESS THAN 4 INCHES ABOVE THE FLOOR.

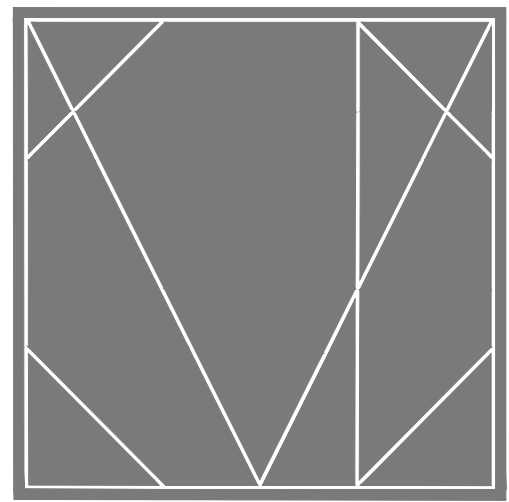
10B RAISED/BRAILLED CHARACTERS & PRACTICAL SYMBOL SIGNS
LETTERS AND NUMERALS SHALL BE RAISED 1/32 IN. UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE, AND SHALL BE ACCOMPLISHED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8 IN (16 MM) HIGH, BUT NO HIGHER THAN 2 IN (50 MM). PICTOGRAMS SHALL BE ACCOMPLISHED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6 IN (152 MM) MINIMUM IN HEIGHT. ALL SIGNAGE SPECIFIED AND INSTALLED BY CLIENT.

MOUNTING LOCATIONS AND HEIGHT
SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE TOILET RM DOORS. MOUNTING HEIGHT SHALL BE 60 IN. (1525 MM) ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. (IF LATCHSIDE UNAVAILABLE USE NEAREST ADJACENT WALL FOR SIGN)

11A CABINETS AND CASE WORK: SEE ALL DRAWINGS FOR CABINET SIZES, FINISHES, HARDWARE AND MATERIALS SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.

11C TELCOM CLOSE: PROVIDE AND MOUNT (1) SHEET OF 4' X 8' X 1/2" FIRE-RETARDANT TREATED BC PLYWOOD WITH TOP AT 6'-0" AFF. VERIFY PLACEMENT AND SIZE WITH CLIENT'S TELCOM DEPT.





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HEATHROW CENTRE
BUILDING - 02
EMPTY SHELL BUILDING
1165 BUSINESS CENTER DRIVE
SUITE 1025 AND SUITE 1075
LAKE MARY, FLORIDA. 32746

CONSTRUCTION

10.24.2025

NO.	DESCRIPTION	DATE

PROJECT TEAM
PROJECT MANAGER
F. CAMPBELL
PROJECT MANAGER
B. BUCKLEY

CLIENT NAME
Providence One Partners

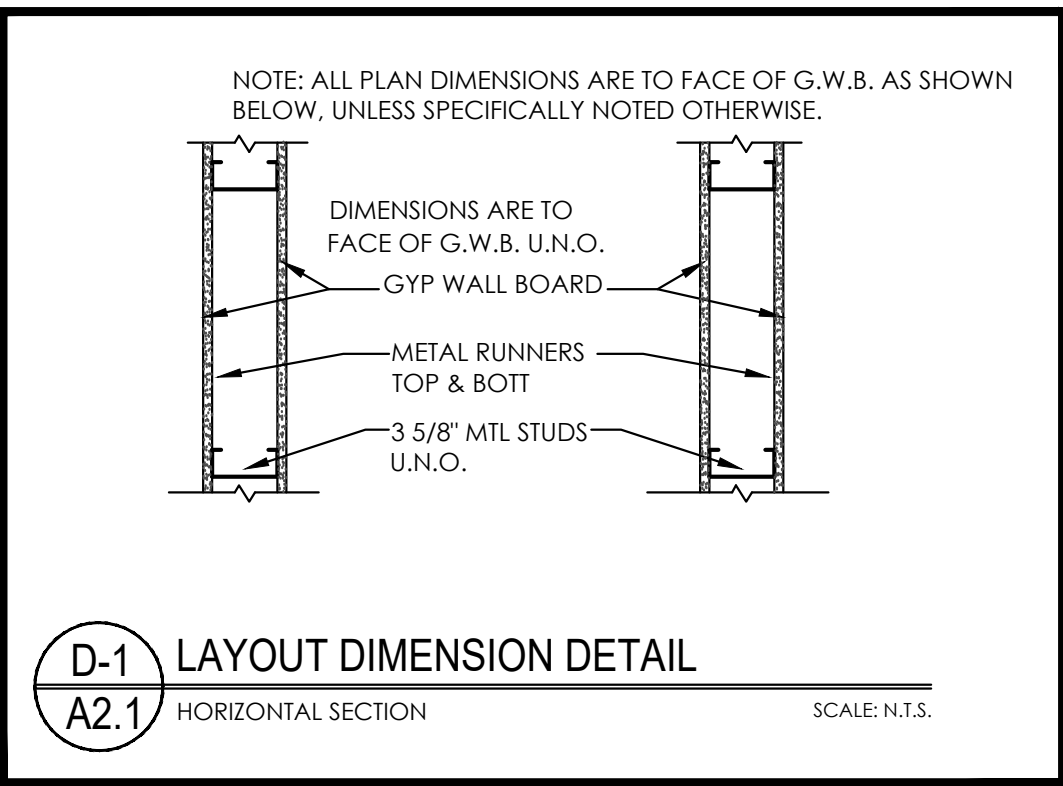
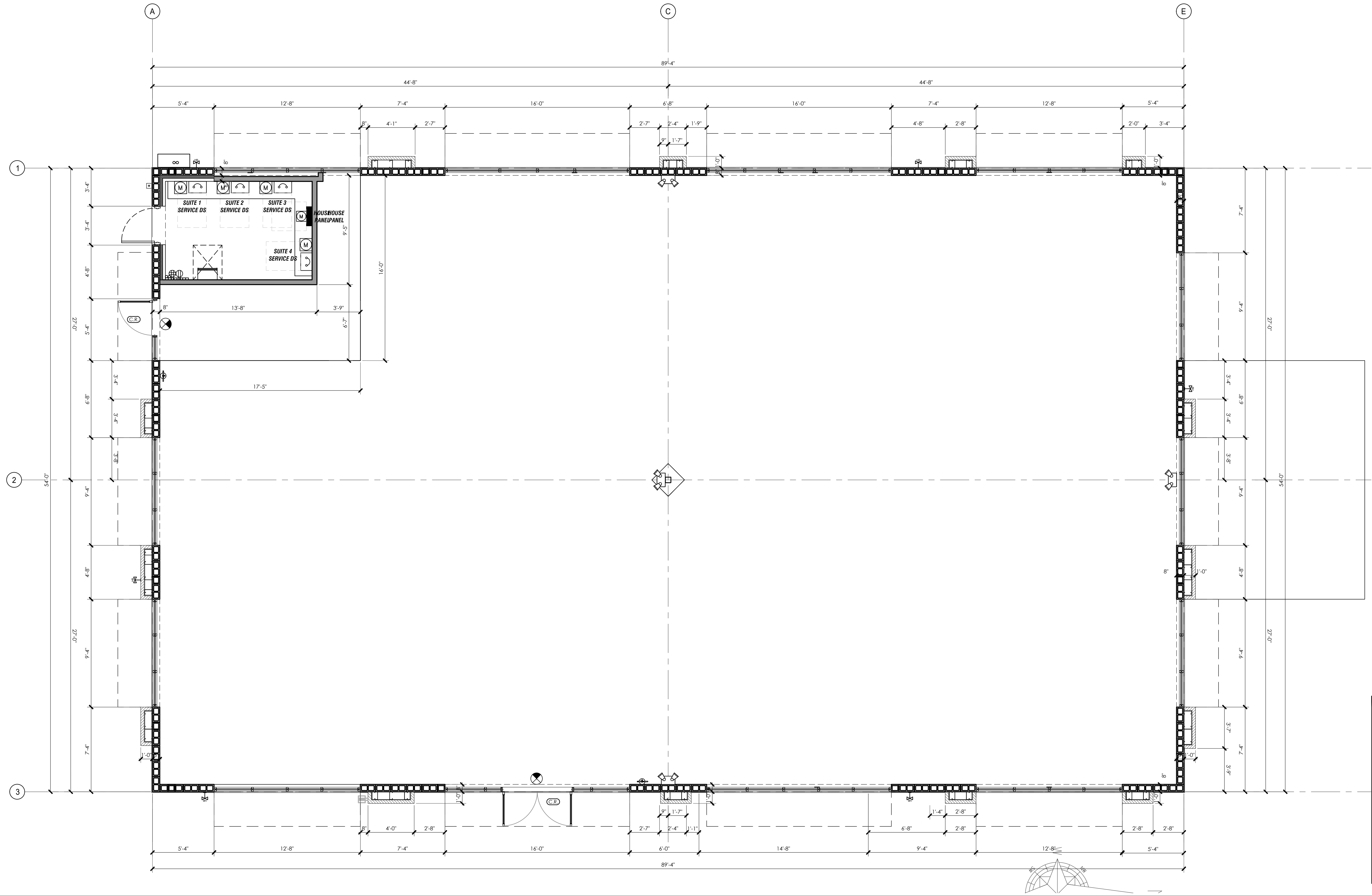
PROJECT NUMBER
24-0919-01

PROJECT FILE

DIMENSION PLAN

SHEET NUMBER

A2.1



1/A2.1 DIMENSION PLAN -BUILDING 2


SCALE: 1/4" = 1'-0"

Door Hardware Set No. 5	
Each door to have:	
3	Each Hinges 8831 4.5 x 4.5 NRP 630 Cal-Royal
1	Each UL Panic A7700 630 Cal-Royal
1	Each Trim ESC7705 626 Cal-Royal
1	Each HO Closer IN90JBF8 x HO38P5 / 900 689 Cal-Royal
1	Each Threshold FST-201 628 Cal-Royal
1	Set Seals PG-603 Rubber Cal-Royal
1	Each Door Sweep BWR-501 628 Cal-Royal
1	Each Roll Drip CR4462 628 Cal-Royal
FPA: FL13624.3	

Door Hardware Set No. AL1	
Each pair to have:	
1	Each Cont Hinge 6009X x EPT-2 Prep 628 AHT
1	Each Power Transfer EPT-2 628 Von Duprin
1	Each Cont Hinge 6009X628 AHT
1	Each Electric CVR Panic 8000 MEL-1 NL 628 AHT
1	Each CVR Panic 8000 628 AHT
2	Each Pull DPA4150 1-1/4" Dia. 60" Length 630 Frascio
1	Each Mount Pad and Locking Ring 628 AHT
1	Each Cylinder MORTCYL114 626 Cal-Royal
2	Each Closer CR441 x CR18PA 689 Cal-Royal
2	Each Floor Stops 3CT5-85 626 Cal-Royal
1	Each Threshold 40290 628 AHT
1	Set Seals Perimeter & Astragal BLK AHT
2	Each Door Sweep 25047 628 AHT
1	Each Door Sweep 25047 628 AHT
1	Each Power Supply NP-1 600 AHT
1	Each Card Reader IPWR500 BLK SDC
1	Each Wire Diagram xxx AHT
FPA: FL17616.1	

Door Hardware Set No. AL2	
Each door to have:	
1	Each Cont Hinge 6009X x EPT-2 Prep 628 AHT
1	Each Power Transfer EPT-2 628 Von Duprin
1	Each Electric CVR Panic 8000 MEL-1 NL 628 AHT
2	Each Pull DPA4150 1-1/4" Dia. 60" Length 630 Frascio
1	Each Mount Pad and Locking Ring 628 AHT
1	Each Cylinder MORTCYL114 626 Cal-Royal
1	Each Closer CR441 x CR18PA 689 Cal-Royal
1	Each Floor Stops 3CT5-85 626 Cal-Royal
1	Each Threshold 25047 628 AHT
1	Set Seals Perimeter & Astragal BLK AHT
1	Each Door Sweep 25047 628 AHT
1	Each Power Supply NP-1 600 AHT
1	Each Card Reader IPWR500 BLK SDC
1	Each Wire Diagram xxx AHT
FPA: FL17616.1	

Door Hardware Set No. AL3	
---------------------------	--



DOOR NUMBER
TYPE

DOORS NUMBERED ON
CONSTRUCTION PLAN

DOOR, FRAME, & HARDWARE SCHEDULE

ABBREVIATIONS:

HM HOLLOW METAL

SC WD SOLID CORE WOOD

HC WD HOLLOW CORE WOOD

DW DWYALL WRAP

CL CHANNEL

GZ GALVANIZED STEEL

BK BACK KIT

R1 REUSE EXIST. L.H. DR

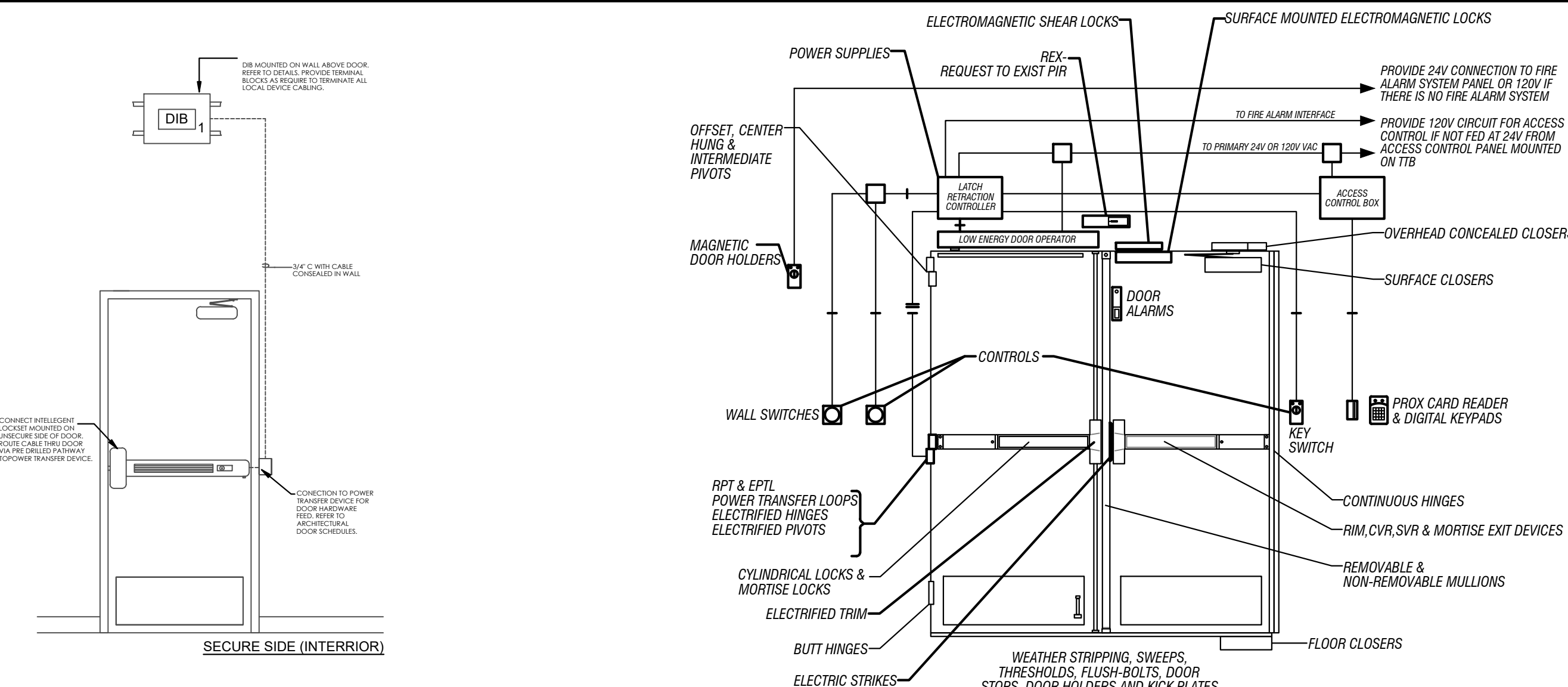
R2 REUSE EXIST. L.H. DR

STAIN PAINT STAIN PER FINISH SCHEDULE

FINISHES COORDINATE FINISHES WITH INT. DESIGNER'S DOCS

DOOR TAG	ROOM		DOOR / OPENING			FRAME			FIRE RTNG.	HDWR SET	LOCAT	ACCESS CNTRL	NOTES
	NO.	NAME	SIZE	TYPE	MAT	FIN	MAT	FIN					
100 B	100	RETAIL-01	3'-0" x 8'-0"		B	AL/GL	AL/GL	AL	ALUM	N/A	AL2	EXTERIOR	NEW CARD READER
101 A	101	RETAIL-02	PR. 3'-0" x 8'-0"		A	AL/GL	AL/GL	AL	ALUM	N/A	AL1	EXTERIOR	NEW CARD READER
104 G	104	ROOF ACCESS	3'-0" x 8'-0"		C	HM	PAINT	HM	PAINT	N/A	5	EXTERIOR	

NOTE: EXIT DOORS TACTILE SIGNAGE SHALL BE PROVIDED AT EACH NEW EXIT DOOR IN ACCORDANCE WITH SECTION 7.10.1.3, NFPA 101, 2023 EDITION



D-1
A2.2
TYPICAL EGRESS DOOR
CONNECTION DETAIL

D-3
A2.2
RECEPTION ENTRANCE DOOR DETAIL

ACCESS CONTROL DETAIL NOTES:
ACCESS CONTROLLED EGRESS DOORS SHALL BE IN ACCORDANCE WITH NFPA 101, CHAPTER 7.2.1.6.2, (2012 EDITION). ACCESS CONTROLLED EGRESS DOORS COMPLYING WITH 7.2.1.6.2 SHALL BE PERMITTED (SECTION 38.2.2.6, NFPA 101, 2009 EDITION). ACCESS CONTROL DEVICES SHALL BE UL 294 LISTED AND INSTALLATION SHALL INCLUDE:
1. SENSOR SHALL BE PROVIDED ON EGRESS SIDE OF DOOR TO DETECT AN OCCUPANT APPROACHING THE DOORS.
2. DOORS SHALL UNLOCK AUTOMATICALLY UPON LOSS OF POWER TO THE SENSOR.
3. PROVIDE "PUSH TO EXIT" MANUAL UNLOCKING DEVICE LOCATED 40" TO 48" VERTICALLY ABOVE THE FLOOR AND WITHIN 9'-0" OF THE SECURE DOORS WITH WIRING AS REQUIRED.
7. THE EGRESS SIDE OF THE DOORS SHALL BE PROVIDED WITH EMERGENCY LIGHTING.
8. ACTIVATION OF THE BUILDING FIRE PROTECTIVE SIGNALING SYSTEM SHALL AUTOMATICALLY UNLOCK THE DOORS, AND DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.
9. ACTIVATION OF MANUAL FIRE ALARM REQUIREMENTS SHALL AUTOMATICALLY UNLOCK THE DOORS, AND DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.
10. ACTIVATION OF THE BUILDING AUTOMATIC SPRINKLERS OR FIRE DETECTION SYSTEM SHALL AUTOMATICALLY UNLOCK THE DOORS, AND DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.
11. COORDINATE SPECIFICATION AND REQUIREMENTS FOR ACCESS CONTROL WITH ARCHITECT'S CONSTRUCTION DOCUMENTS AND OWNER/TENANT CONTRACTED ACCESS CONTROL CONTRACTOR.
NOTE: DETAIL SHOWS MULTIPLE POSSIBLE ACCESS CONTROL CONFIGURATIONS AND POSSIBLE ROUGH-IN. VERIFY ACTUAL JOB SPECIFIC REQUIREMENTS FOR THIS PROJECT PRIOR TO ROUGH-IN.

DOOR ELEVATIONS			DOOR FRAME ELEVATION	
PR EXTERIOR STOREFRONT	EXTERIOR STOREFRONT	HALLOW METAL FLUSH DOOR	H.M. FRAME	
A	B	C	1 FOR DOOR TYPE C	

EXTERIOR WINDOW ELEVATIONS		
WINDOW 1	WINDOW 2	WINDOW 3
WINDOW 4	WINDOW 5	WINDOW 6

EXTERIOR WINDOW INFORMATION						
TAG #	TYPE	GLAZING	FL PRODUCT APPROVAL #	REQUIREMENTS	FINISH	NOTE: EXTERIOR WINDOWS SHALL MEET CURRENT WIND ZONE REQUIREMENTS AND BE INSTALLED PER MFR RECOMMENDATIONS. PAINTED FINISH TO MATCH ARCHITECT'S APPROVED SAMPLE.
①	KAWNEER STOREFRONT	VIRACON GRAY 1" VE2-2M INSULATING LOW-E	FPA# 7237.2	DUAL PANE U<= 0.25, SHGC <=0.31, LIGHTING <1.0 WATTS PER SF.	KYNAR PAINTED FINISH	
②	KAWNEER STOREFRONT	VIRACON GRAY 1" VE2-2M INSULATING LOW-E	FPA# 7237.2	DUAL PANE U<= 0.25, SHGC <=0.31, LIGHTING <1.0 WATTS PER SF.	KYNAR PAINTED FINISH	
③	KAWNEER STOREFRONT	VIRACON GRAY 1" VE2-2M INSULATING LOW-E	FPA# 7237.2	DUAL PANE U<= 0.25, SHGC <=0.31, LIGHTING <1.0 WATTS PER SF.	KYNAR PAINTED FINISH	
④	KAWNEER STOREFRONT	VIRACON GRAY 1" VE2-2M INSULATING LOW-E	FPA# 7237.2	DUAL PANE U<= 0.25, SHGC <=0.31, LIGHTING <1.0 WATTS PER SF.	KYNAR PAINTED FINISH	
⑤	KAWNEER STOREFRONT	VIRACON GRAY 1" VE2-2M INSULATING LOW-E	FPA# 7237.2	DUAL PANE U<= 0.25, SHGC <=0.31, LIGHTING <1.0 WATTS PER SF.	KYNAR PAINTED FINISH	
⑥	KAWNEER STOREFRONT	VIRACON GRAY 1" VE2-2M INSULATING LOW-E	FPA# 7237.2	DUAL PANE U<= 0.25, SHGC <=0.31, LIGHTING <1.0 WATTS PER SF.	KYNAR PAINTED FINISH	
NOTE: (1) GLASS IN STOREFRONT WALL SYSTEMS, AND GLASS LITES KITS SHALL BE TEMPERED IN COMPLIANCE WITH CODE FBC 2406.4, 2023						

DOOR FRAME SECTION	
DF-1 A2.2 SEC @ TYP H.M. DOOR FRAME	SCALE: N.T.S.

D-4 A2.2 EXTERIOR WALL DETAIL	D-5 A2.2 EXTERIOR WALL DETAIL
SCALE: N.T.S.	SCALE: N.T.S.

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SCALE

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CONSULT FIRM SEAL

PROJECT DESCRIPTION:
HEATHROW CENTRE
BUILDING - 02
EMPTY SHELL BUILDING
1165 BUSINESS CENTER DRIVE
SUITE 1025 AND SUITE 1075
LAKE MARY, FLORIDA. 32746

CONSTRUCTION
10.24.2025

NO.	DESCRIPTION	DATE

PROJECT TEAM
PRINCIPAL ARCHITECT
F. CAMPBELL
PROJECT MANAGER
B. BUCKLEY

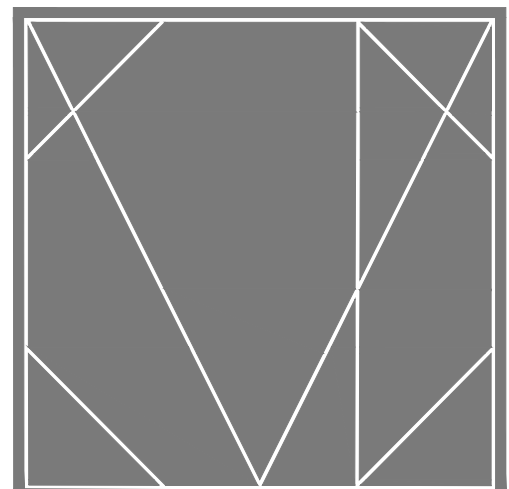
CLIENT NAME
Providence One Partners

PROJECT NUMBER
24-0919-01

SHEET FILE

DETAILS AND SCHEULES

SHEET NUMBER
A2.2



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Phone: 407.930.6016
FL Lic. No. AA26003339

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1165 BUSINESS CENTER DRIVE
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DATE: 09/19/2025

CONSTRUCTION

10.24.2025

REVISIONS		
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PROJECT TEAM
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B. BUCKLEY

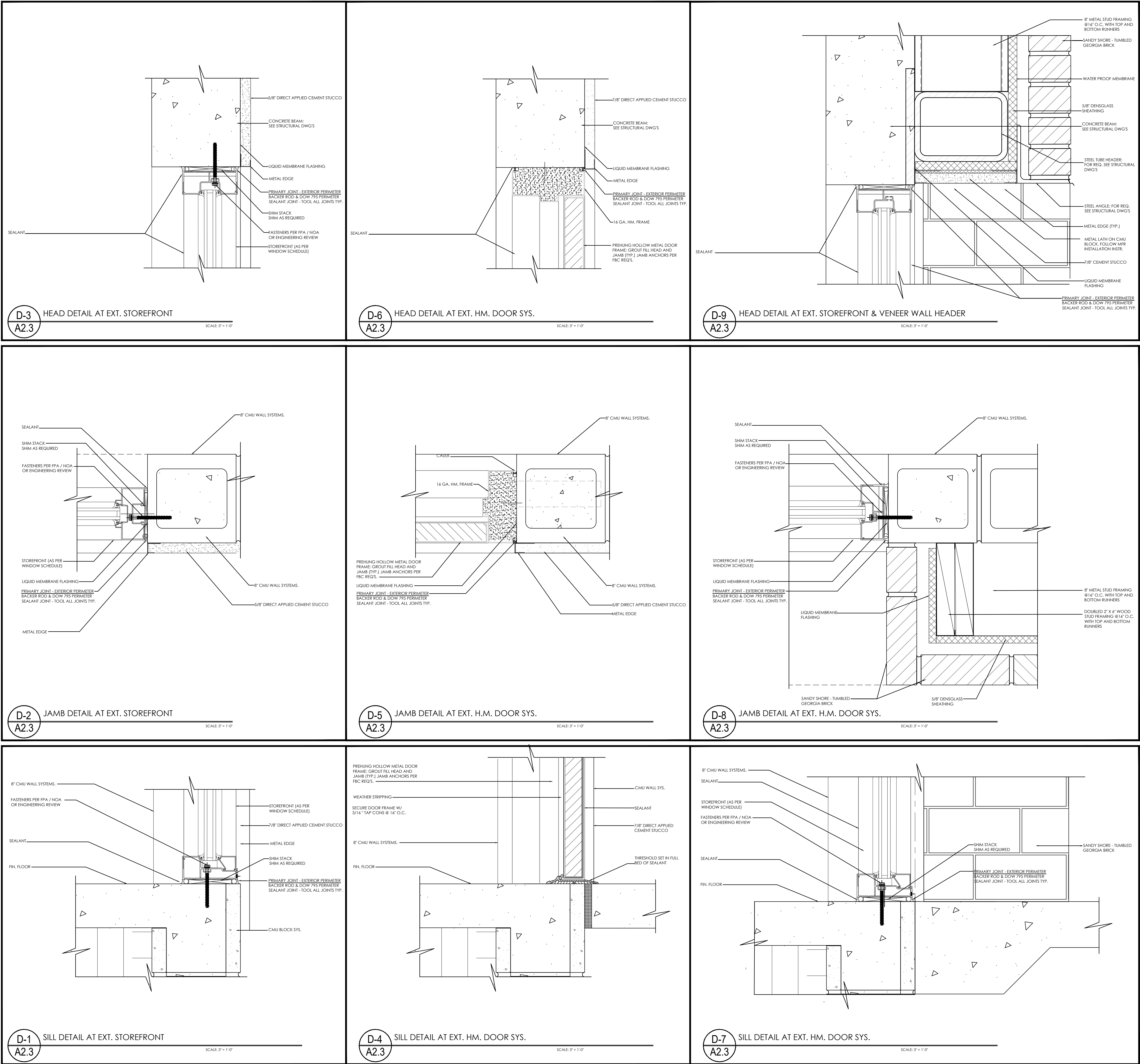
CLIENT NAME
Providence One Partners

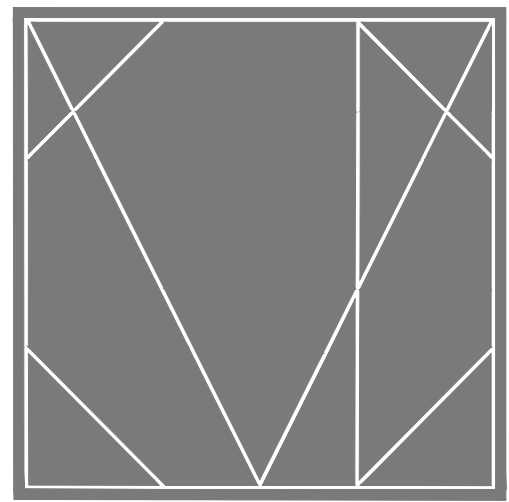
PROJECT NUMBER
24-0919-01

PROJECT FILE

DOOR & WINDOW DETAILS

SHEET NUMBER
A2.3





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HEATHROW CENTRE
BUILDING - 02
EMPTY SHELL BUILDING
1165 BUSINESS CENTER DRIVE
LAKE MARY, FLORIDA, 32746

CONSTRUCTION

10.24.2025

NO.	DESCRIPTION	DATE

PROJECT TEAM
PROJECT MANAGER
F. CAMPBELL
PROJECT MANAGER
B. BUCKLEY

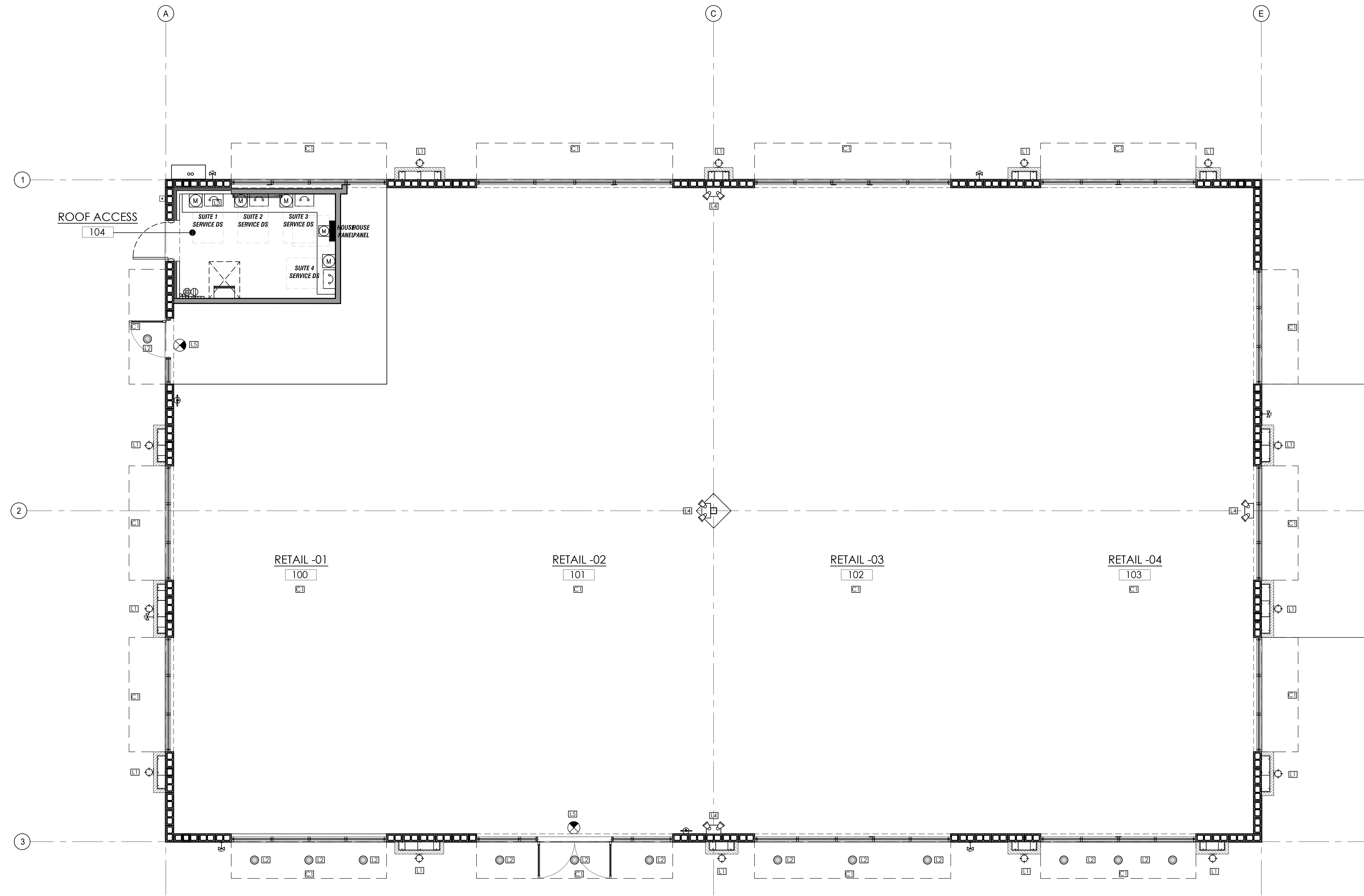
CLIENT NAME
Providence One Partners

PROJECT NUMBER
24-0919-01

PROJECT FILE

REFLECTED CEILING PLAN

SHEET NUMBER
A3.0



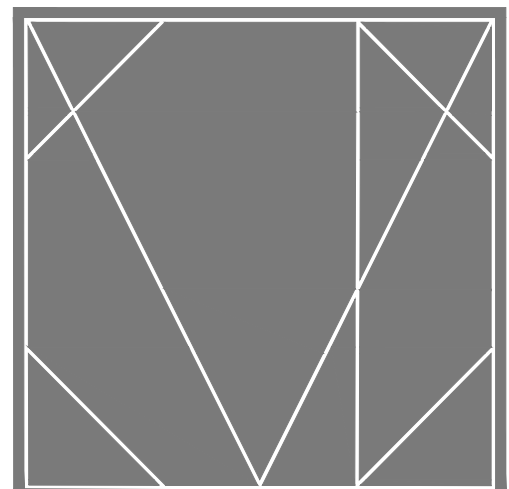
CEILING & LIGHTING LEGEND		
	SYMBOL	DESCRIPTION
	XX	KEY NOTE SYMBOL
L1		EXTERIOR WALL SCONCE. SEE ELECTRICAL SHEETS FOR SPECIFICATION.
L2		EXTERIOR WEATHER RATED DOWNLIGHT
L3		SLG TS INDUSTRIAL STRIP LUMINAIRE
L4		EMERGENCY LIGHTING FIXTURES WITH BATTERY BACK-UP. SEE ELECTRICAL DRAWINGS
L5		EMERGENCY LIGHTING FIXTURES

REFLECTED CEILING PLAN	
C1	OPEN TO ABOVE STRUCTURE. INTERIOR SPACE SHALL BE BUILT OUT BY FUTURE TENANT. UNDER SEPARATE PERMIT
C2	EXTERIOR SCONCE LIGHT. SEE ELECTRICAL DWG'S.
C3	EXTERIOR CAN LIGHT. SEE ELECTRICAL DWG'S.
C4	STEEL COLUMN. SEE STRUCTURAL DWG'S.
C5	PREMANUFACTURED METAL CANOPY.
C6	TOP OF EXTERIOR WINDOWS= 10'-0" A.F.F.



1/A3.0 REFLECTED CEILING PLAN -BUILDING 2

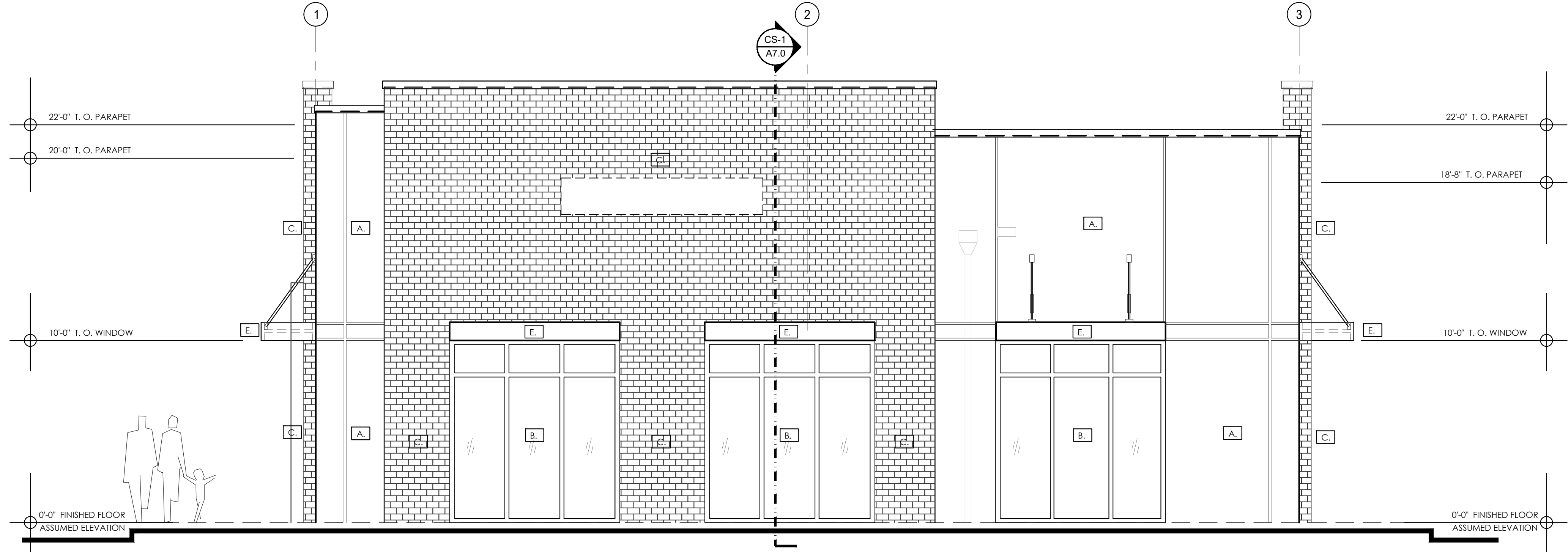
SCALE: 1/4" = 1'-0"



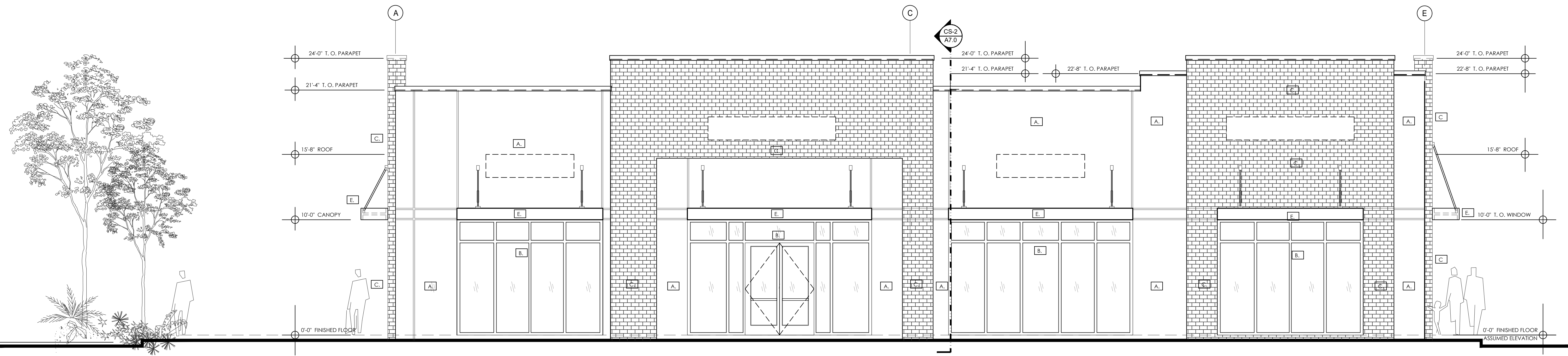
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SEAL:

- PROPOSED ELEVATION KEY NOTES**
- NOTE SYMBOL (KEYED TO ELEVATION)
- A.** STUCCO FINISH
PRIMER: LK03V0100 - LOXON CONDITIONER
FINISH: SW 9598
- B.** STORE FRONT METAL
PRIMER: B50WZ0001 - KEM KROMIK - UNIVERSAL METAL PRIMER
FINISH: B66W006S1 - PRO INDUSTRIAL HIGH PERFORMANCE ACRYLIC
- SEMI GLOSS
- C.** STONE
WHITE PEARL - GEORGIA ARCHITECTURAL
LINEAR SERIES BRICK
- D.** HOLLOW METAL DOORS AND FRAMES
SPOT PRIME: B50WZ0001 - KEM KROMIK - UNIVERSAL METAL PRIMER
FINISH: B66W006S1 - PRO INDUSTRIAL HIGH PERFORMANCE ACRYLIC
- SEMI GLOSS
- E.** AWNING
IRON ORE SWPAINT
- F.** EXTERIOR CAULKING
SEALANT: LK0710010 - LOXON S1 ONE COMPONENT SMOOTH
POLYURETHANE SEALANT.
- IMPORTANT NOTE:** PROVIDE WATER DIVERTER BOXES WITH INTEGRAL OVERFLOW.



1/A6.0. NORTH ELEVATION - BUILDING 2 SCALE: 1/4" = 1'-0"



2/A6.1 EAST ELEVATION - BUILDING 2 SCALE: 1/4" = 1'-0"

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EMPTY SHELL BUILDING
1165 BUSINESS CENTER DRIVE
LAKE MARY, FLORIDA, 32746

CONSTRUCTION

10.24.2025

NO.	DESCRIPTION	DATE

PROJECT TEAM
PROJECT MANAGER
F. CAMPBELL
PROJECT MANAGER
B. BUCKLEY

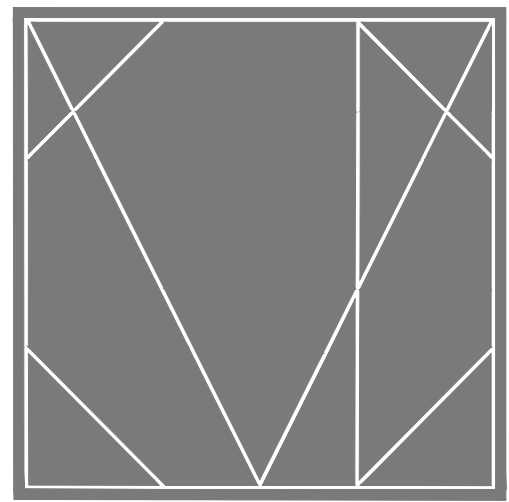
CLIENT NAME
Providence One Partners

PROJECT NUMBER
24-0919-01

PROJECT FILE

EXTERIOR ELEVATIONS

PROJECT NAME
A6.0



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HEATHROW CENTRE
BUILDING - 02
EMPTY SHELL BUILDING
1165 BUSINESS CENTER DRIVE
LAKE MARY, FLORIDA, 32746

DATE FOR

CONSTRUCTION

10.24.2025

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TEAM

PROJECT ARCHITECT
F. CAMPBELL
PROJECT MANAGER
B. BUCKLEY

CLIENT NAME

Providence One Partners

PROJECT NUMBER

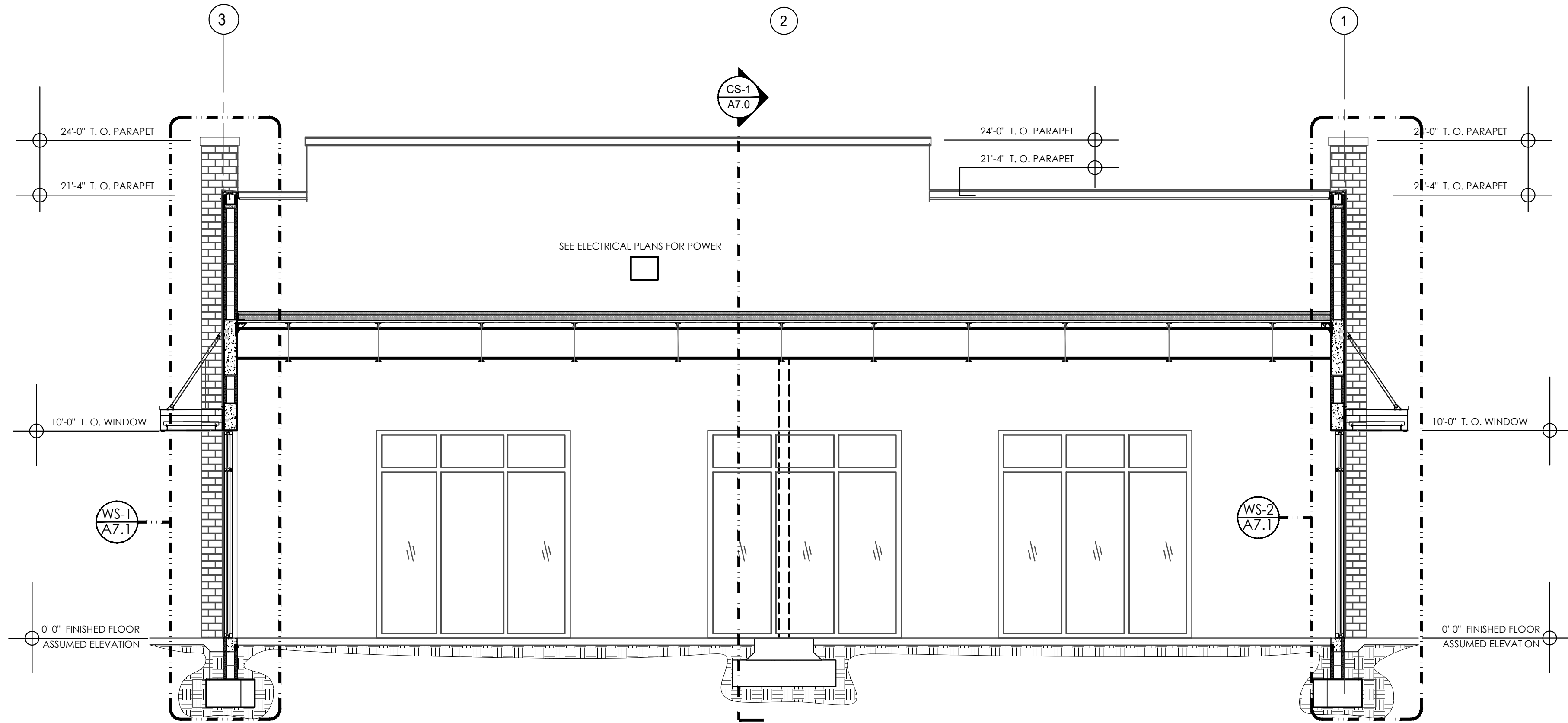
24-0919-01

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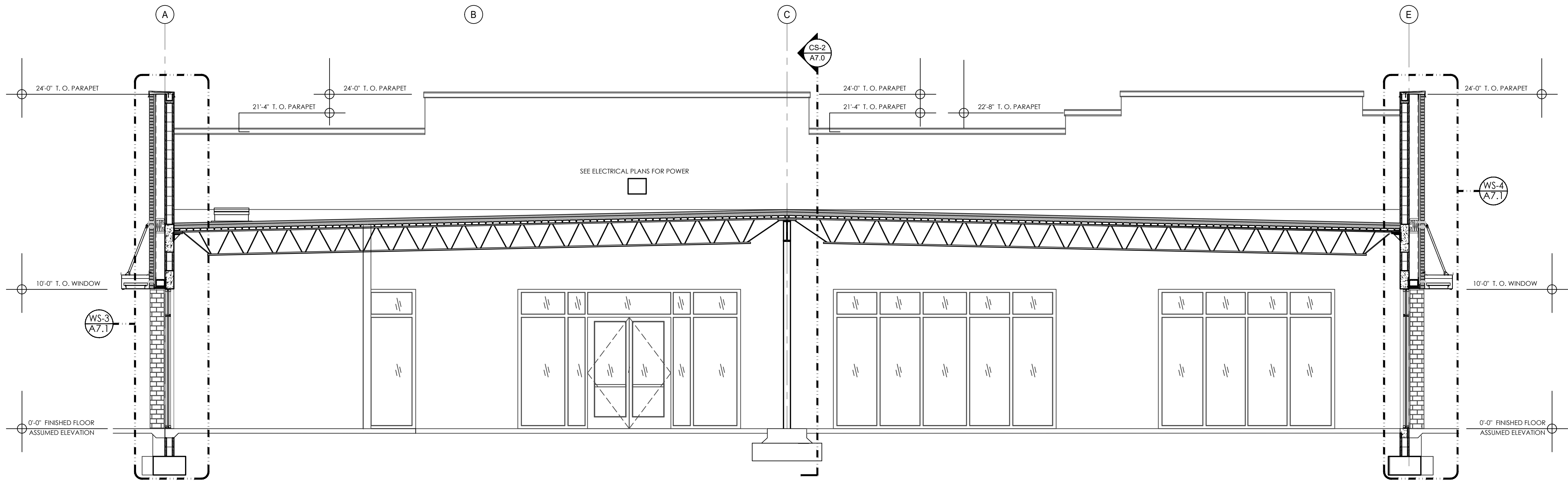
CROSS SECTIONS

SHEET NUMBER

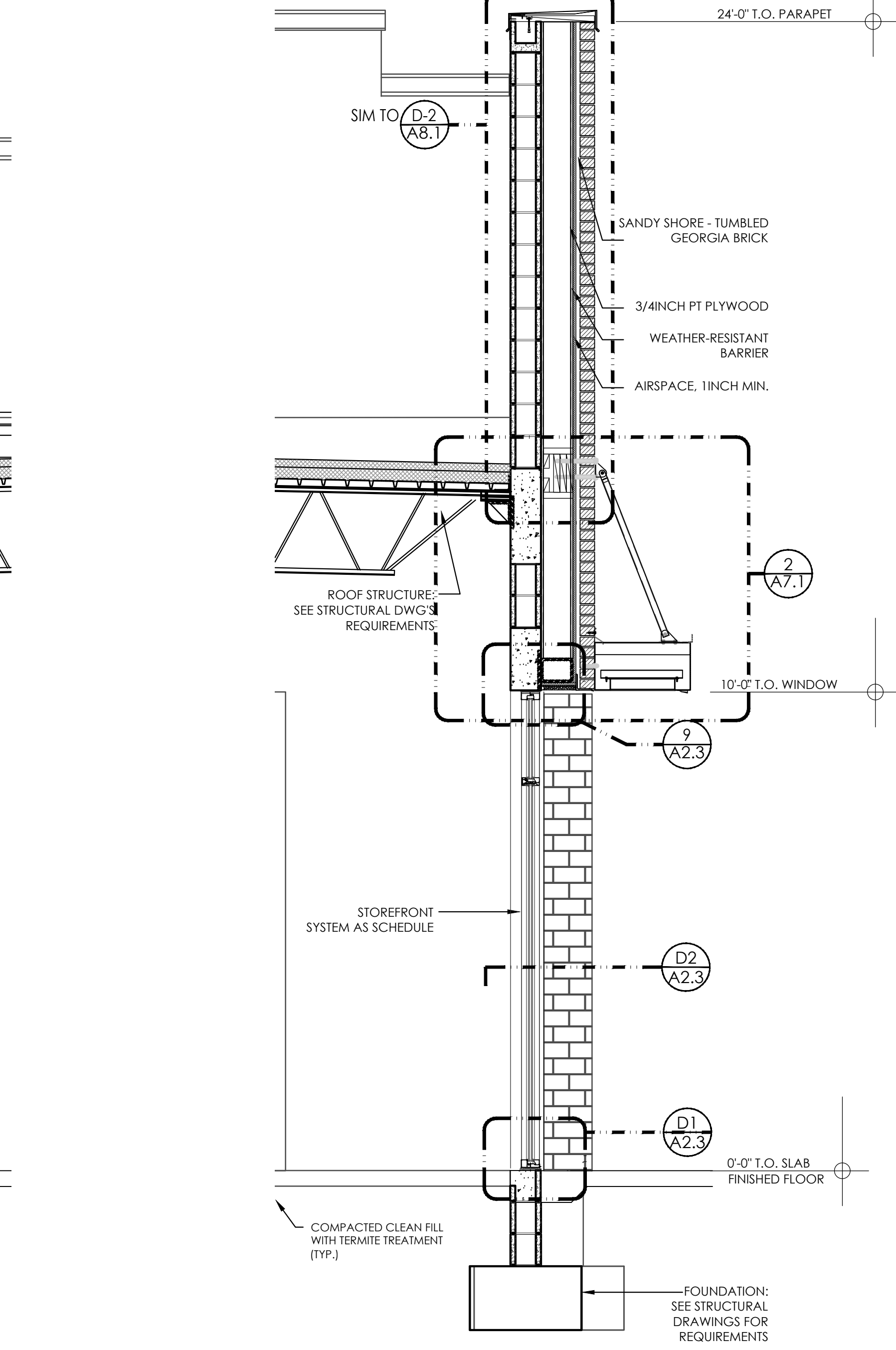
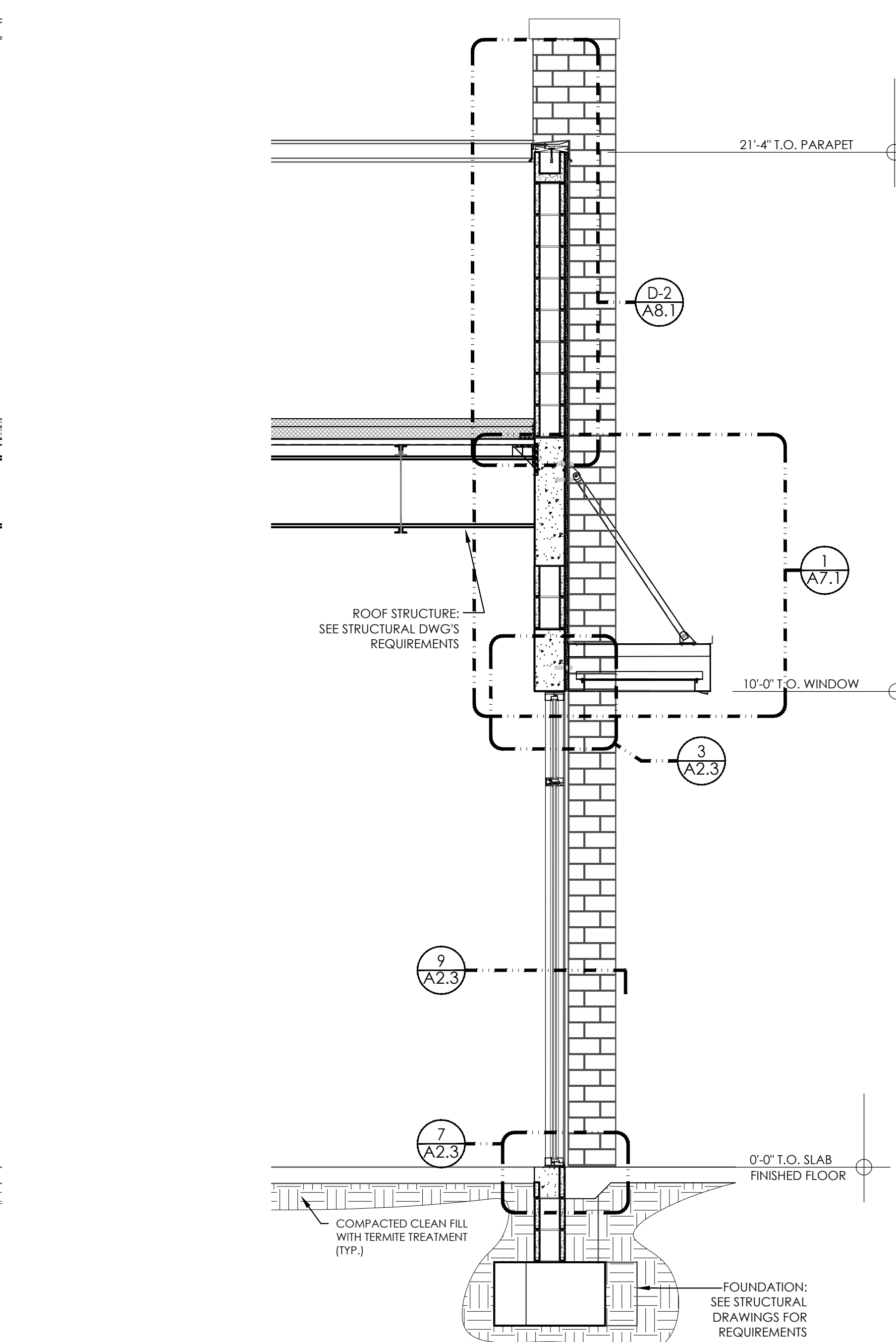
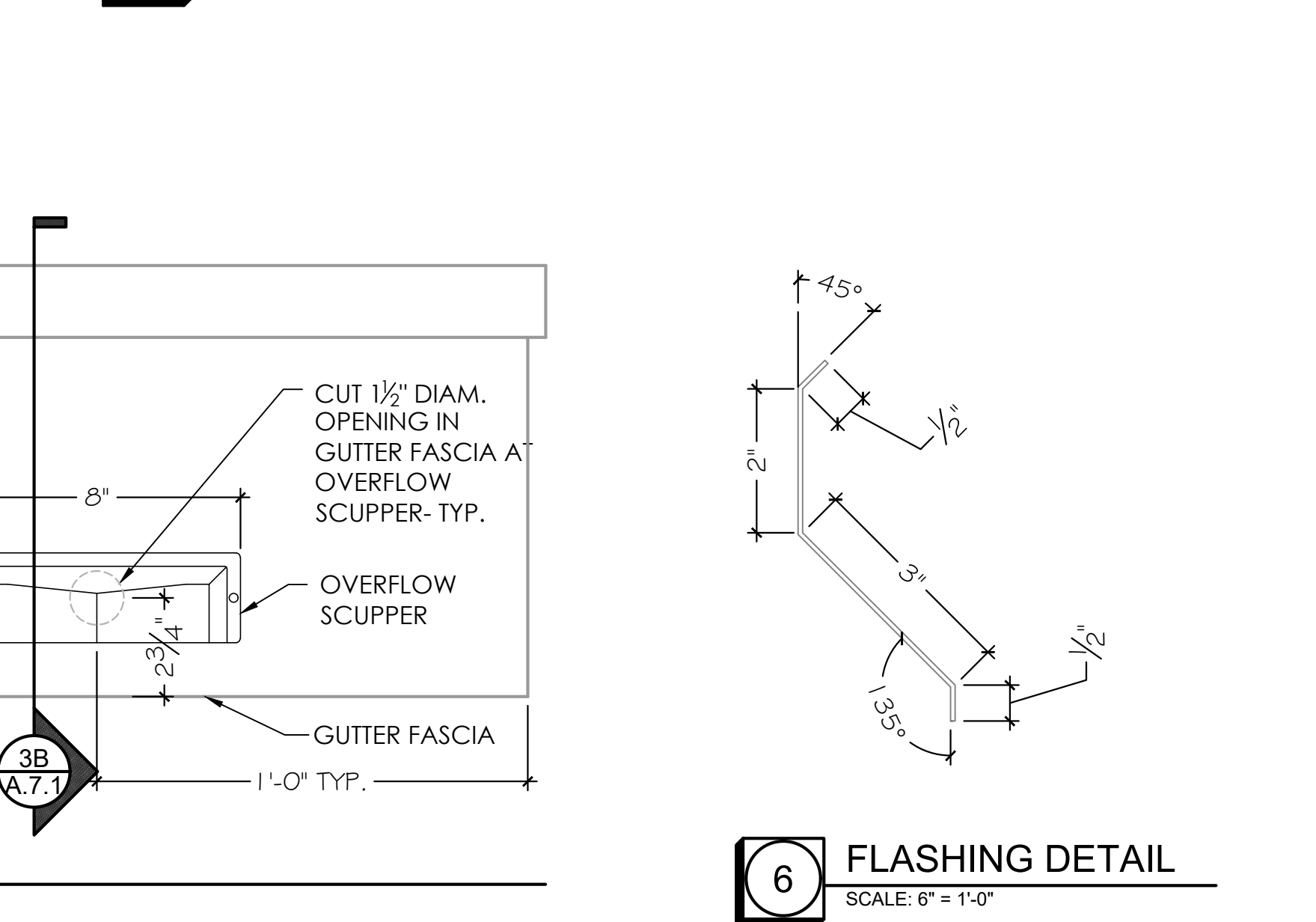
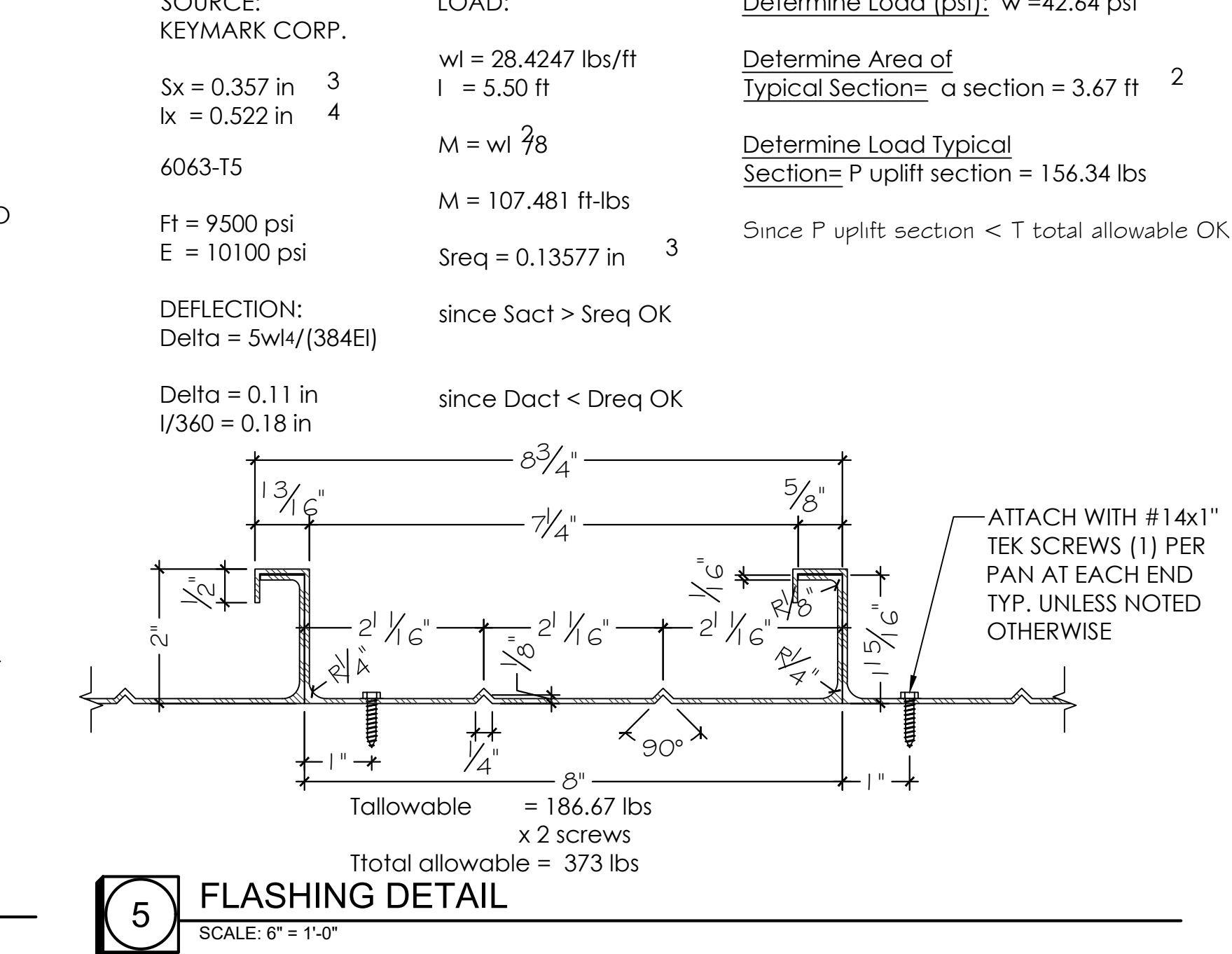
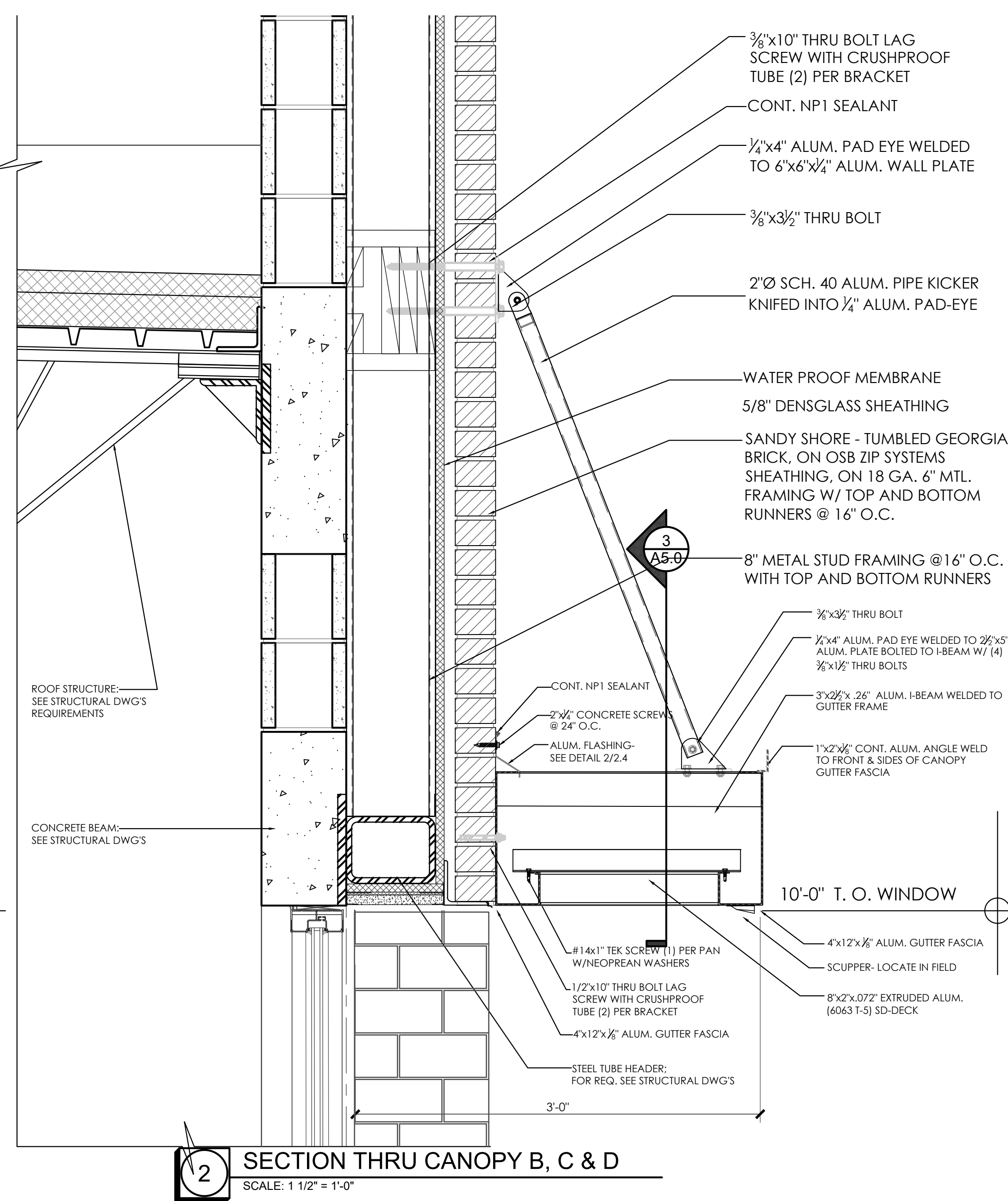
A7.0



CS-2
A7.0
BUILDING SECTION - BUILDING 2
SCALE: 1/4" = 1'-0"



CS-1
A7.0
BUILDING SECTION - BUILDING 2
SCALE: 1/4" = 1'-0"



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PROJECT DESCRIPTION:
HEATHROW CENTRE
BUILDING - 02
EMPTY SHELL BUILDING
11165 BUSINESS CENTER DRIVE
LAKE MARY, FLORIDA, 32746

ISSUE FOR

CONSTRUCTION

ISSUE DATE
10.24.2025

[illegible]

PROJECT TEAM
PRINCIPAL IN CHARGE
F. CAMPBELL
PROJECT MANAGER
B. BUCKLEY

CLIENT NAME
Providence One Partners

PROJECT NUMBER
24-0919-01

SHEET TITLE

WALL SECTIONS

A7.1

A7.1



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(BOXED NOTE NUMBERS ARE KEYED TO PLAN)

- NOTE: AWNING SUBCONTRACTOR TO FIELD VERIFY ALL SIZES PRIOR TO MANUFACTURE

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CONSULTANT SEAL

HEATHROW CENTRAL
BUILDING - 02
EMPTY SHELL BUILDING
1165 BUSINESS CENTER DRIVE
LAKE MARY, FLORIDA. 32746

.24.2025

PROJECT TEAM

PRINCIPAL IN CHARGE
CAMPBELL

PROJECT MANAGER
BUCKLEY

ECT NUMBER
-0919-01

DOF PLAN

A8.0



SCALE: 1/4" = 1'-0"

